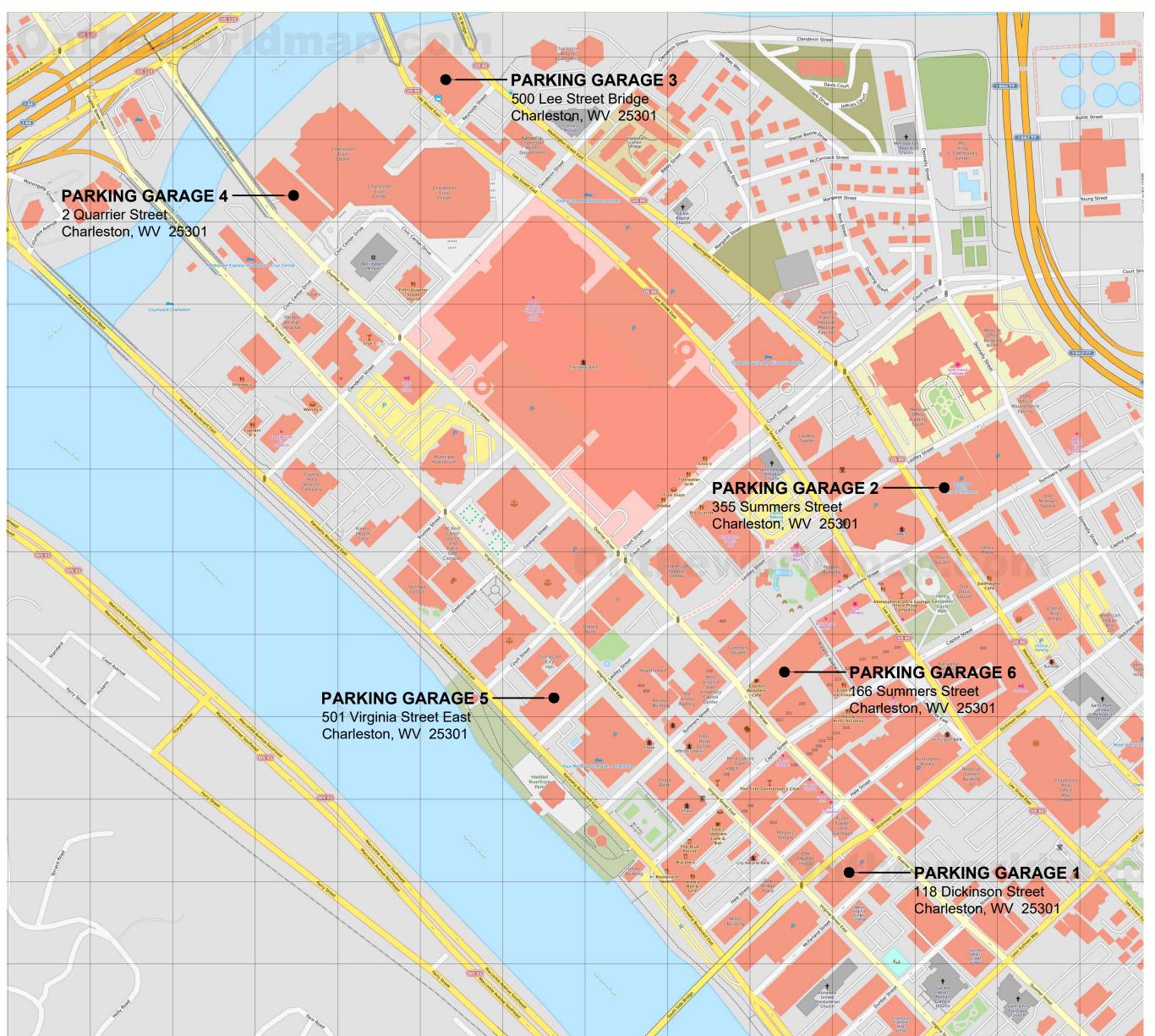
The City of Charleston **2025 Garage Repairs** Project No. E9 12/24-156 Charleston, WV 25301

PREPARED BY:

VICINITY MAP:



DRAWING INDEX:

001 002	TITLE, DRAWING INDEX, AND VICINITY MAP GENERAL NOTES
111	PARKING GARAGE 1 - LEVEL 1 PLAN
112	PARKING GARAGE 1 - LEVEL 2 PLAN
113	PARKING GARAGE 1 - LEVEL 3 PLAN
114	PARKING GARAGE 1 - LEVEL 4 PLAN
115	
-	PARKING GARAGE 1 - LEVEL 6 PLAN
-	PARKING GARAGE 1 - LEVEL 7 PLAN
121	PARKING GARAGE 2 - LEVEL 1 PLAN
122	PARKING GARAGE 2 - LEVEL 2 PLAN
123	PARKING GARAGE 2 - LEVEL 3 PLAN
124	PARKING GARAGE 2 - LEVEL 4 PLAN
125	PARKING GARAGE 2 - LEVEL 5 PLAN
126	PARKING GARAGE 2 - LEVEL 6 PLAN
127	PARKING GARAGE 2 - LEVEL 7 PLAN
128	PARKING GARAGE 2 - LEVEL 8 PLAN
131	PARKING GARAGE 3 - LEVEL 1 PLAN
132	PARKING GARAGE 3 - LEVEL 2 PLAN
133	PARKING GARAGE 3 - LEVEL 3 PLAN
134	PARKING GARAGE 3 - LEVEL 4 PLAN
135	PARKING GARAGE 3 - LEVEL 5 PLAN
141	PARKING GARAGE 4 - LEVEL 1 PLAN
142	PARKING GARAGE 4 - LEVEL 2 PLAN
143	PARKING GARAGE 4 - LEVEL 3 PLAN
144	PARKING GARAGE 4 - LEVEL 4 PLAN
145	PARKING GARAGE 4 - LEVEL 5 PLAN
146	PARKING GARAGE 4 - LEVEL 6 PLAN
147	PARKING GARAGE 4 - LEVEL 7 PLAN
151	PARKING GARAGE 5 - LEVEL 1 PLAN
152	
-	PARKING GARAGE 5 - LEVEL 2 PLAN PARKING GARAGE 5 - LEVEL 3 PLAN
	PARKING GARAGE 5 - LEVEL 5 FLAN
155	PARKING GARAGE 5 - LEVEL 5 PLAN
161	PARKING GARAGE 6 - LEVEL 1 PLAN
162	PARKING GARAGE 6 - LEVEL 2 PLAN
163	PARKING GARAGE 6 - LEVEL 3 PLAN
164	PARKING GARAGE 6 - LEVEL 4 PLAN
165	PARKING GARAGE 6 - LEVEL 5 PLAN
166	PARKING GARAGE 6 - LEVEL 6 PLAN
167	PARKING GARAGE 6 - LEVEL 7 PLAN
168	PARKING GARAGE 6 - LEVEL 8 PLAN
201	PARKING GARAGE 3 - STAIR E PLANS
202	
203	PARKING GARAGE 3 - STAIR SECTIONS
211	PARKING GARAGE 4 - STAIR H PLANS
	PARKING GARAGE 4 - STAIR I PLANS
	PARKING GARAGE 4 - STAIR I PLANS PARKING GARAGE 4 - STAIR SECTIONS
215	FARRING GARAGE 4 - STAIR SECTIONS
221 222	STAIR REPAIR DETAILS STAIR REPAIR DETAILS
401	CONCRETE, MASONRY, AND STEEL DETAILS
402	CONCRETE, MASONRY, AND STEEL DETAILS
403	CONCRETE, MASONRY, AND STEEL DETAILS
404	CONCRETE, MASONRY, AND STEEL DETAILS
501	
502	SEALANT AND EXPANSION JOINT DETAILS
601	MEMBRANE DETAILS
	PHOTO DETAILS PHOTO DETAILS

702 PHOTO DETAILS 703 PHOTO DETAILS

704 PHOTO DETAILS





221 East Fourth Street. Suite 1150 Cincinnati, Ohio 4520 513.241.3222 THPLTD.com

THP Limited. Neither the document nor t formation it contains may be copied o reused for other than the specific project which it was prepared without the writte onsent of THP Limited

SUES/REVISIONS:
06.02.2025 BID SET
ECHNICIAN:
N.P. Rajani
ROJECT MANAGER:
M.R. Rigdon
RINCIPAL:
W.M. Judd
NGINEER OF RECORD:
A.M. Mette
The City of

The City of Charleston

2025 **Garage Repairs**

Project No. E9 12/24-156

AWING TITLE:

TITLE, DRAWING INDEX AND VICINITY MAP

HP NUMBER: 24137.00 **JUNE 2025** AWING NUMBER:

GENERAL NOTES:

A. CODE SUMMARY 1. THE CITY OF CHARLESTON 2024/2025 GARAGE REPAIRS a. PARKING GARAGE 1: ORIGINAL CONSTRUCTION: BUILT IN 1974 ADDRESS: 118 DICKINSON STREET, CHARLESTON, WV 25301 NUMBER OF SUPPORTED LEVELS: 6 STRUCTURAL SYSTEM: PRECAST DOUBLE TEE b. PARKING GARAGE 2: 1) ORIGINAL CONSTRUCTION: BUILT IN 1974 2) ADDRESS: 355 SUMMERS STREET, CHARLESTON, WV 25301 3) NUMBER OF SUPPORTED LEVELS: 8 4) STRUCTURAL SYSTEM: PRECAST DOUBLE TEE c. PARKING GARAGE 3: 1) ORIGINAL CONSTRUCTION: BUILT IN 1981 2) ADDRESS: 500 LEE STREET BRIDGE, CHARLESTON, WV 25301 3) NUMBER OF SUPPORTED LEVELS: 4 4) STRUCTURAL SYSTEM: PRECAST DOUBLE TEE d. PARKING GARAGE 4: ORIGINAL CONSTRUCTION: BUILT IN 1981 2) ADDRESS: 2 QUARRIER STREET, CHARLESTON, WV 25301 3) NUMBER OF SUPPORTED LEVELS: 6 4) STRUCTURAL SYSTEM: PRECAST DOUBLE TEE e. PARKING GARAGE 5: ORIGINAL CONSTRUCTION: BUILT IN 1974 ADDRESS: 501 VIRGINIA STREET EAST, CHARLESTON, WV 25301 3) NUMBER OF SUPPORTED LEVELS: 4 4) STRUCTURAL SYSTEM: PRECAST DOUBLE TEE f. PARKING GARAGE 6: 1) ORIGINAL CONSTRUCTION: BUILT IN 1995 2) ADDRESS: 166 SUMMERS STREET, CHARLESTON, WV 25301) NUMBER OF SUPPORTED LEVELS: 7 4) STRUCTURAL SYSTEM: PRECAST DOUBLE TEE 2. GARAGES ARE NOT FULLY SPRINKLERED. 3. PROJECT REPAIRS (SUMMARY OF WORK FOR PLANS REVIEW): a. PARKING GARAGE 1: CONCRETE REPAIRS METAL STAIR REPAIRS 3) WATERPROOFING REPAIRS 4) SUPPLEMENTAL STEEL INSTALLATIONS b. PARKING GARAGE 2:) CONCRETE REPAIRS 2) STEEL POST REPAIRS 3) EXPANSION JOINT REPAIRS 4) WATERPROOFING REPAIRS c. PARKING GARAGE 3: 1) REPLACEMENT OF (2) METAL STAIRS 2) CONCRETE REPAIRS 3) WATERPROOFING REPAIRS 4) BARRIER CABLE REPAIRS 5) SUPPLEMENTAL STEEL INSTALLATION d. PARKING GARAGE 4: 1) REPLACEMENT OF (2) METAL STAIRS 2) CONCRETE REPAIRS 3) BARRIER CABLE REPAIRS 4) WATERPROOFING REPAIRS e. PARKING GARAGE 5: 1) FACADE REPAIRS 2) SUPPLEMENTAL STEEL INSTALLATION 3) CONCRETE REPAIRS

- f. PARKING GARAGE 6:
 - FACADE REPAIRS
 - CONCRETE REPAIRS
- WATERPROOFING MEMBRANE REPAIRS 4) SUPPLEMENTAL STEEL INSTALLATION

B. CODES AND SPECIFICATIONS

- 1. 2018 WEST VIRGINIA BUILDING CODE WITH LATEST AMENDMENTS/UPDATES THROUGH AUGUST 2022, AS ISSUED BY STATE OF WEST VIRGINIA BOARD OF BUILDING STANDARDS.
- 2. 2018 INTERNATIONAL EXISTING BUILDING CODE.
- 3. ASCE/SEI 7-16, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
- 4. ACI 301-16, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS AS MODIFIED BY CONSTRUCTION DOCUMENTS.
- ANSI/AISC 303-16, CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES AS 5. MODIFIED BY CONSTRUCTION DOCUMENTS.
- 6. ANSI/AWS D1.1, STRUCTURAL WELDING CODE STEEL.
- 7. SEPARATE BOUND PROJECT MANUAL DATED JANUARY, 2025 EXISTS AND IS PART OF CONTRACT DOCUMENTS. GENERAL CONDITIONS AND TECHNICAL INFORMATION AND REQUIREMENTS ARE INCLUDED IN PROJECT MANUAL. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIREMENTS OF THIS PROJECT NOTED IN PROJECT MANUAL, BUT NOT NECESSARILY INCLUDED IN DRAWINGS.

C. DESIGN LOADS

- 1. FLOOR LOAD:
- a. TYPICAL FLOOR LIVE LOAD: 40 PSF / 3000 LBS CONCENTRATED b. STAIR LIVE LOAD: 100 PSF

2. SNOW LOAD:

- a. GROUND SNOW LOAD: Pg = 20 PSF
- SNOW EXPOSURE FACTOR: Ce = 0.9
- THERMAL FACTOR: Ct = 1.2
- SNOW LOAD IMPORTANCE FACTOR: Is = 1.0 e. FLAT ROOF SNOW LOAD: Pf = 15.12 PSF
- MINIMUM SNOW LOAD FOR LOW SLOPE ROOF: RAIN ON SNOW SURCHARGE: 5 PSF

WIND LOAD:

- a. DESIGN WIND SPEED (3-SECOND GUST): Vult = 1
- RISK CATEGORY: II
- WIND EXPOSURE: B, Kz = 0.57, Kzt = 1.0, Kd = 0.8 d. INTERNAL PRESSURE COEFFICIENT: ENCLOSE

4. EARTHQUAKE DESIGN DATA:

- a. RISK CATEGORY: II
- b. SEISMIC IMPORTANCE FACTOR: le = 1.0 MAPPED SPECTRAL RESPONSE ACCELERATION
- SITE CLASS: C DESIGN SPECTRAL RESPONSE COEFFICIENT:
- SEISMIC DESIGN CATEGORY: B BASIC SEISMIC FORCE RESISTING SYSTEM: OR
- RESPONSE MODIFICATION FACTOR: R = 3
- SEISMIC RESPONSE COEFFICIENT: Cs = 0.055 ANALYSIS PROCEDURE: EQUIVALENT LATERAL
- 5. PROJECT IS REPAIRS WITHIN EXISTING STRUCTURE. LESS COMPLYING THAN IT WAS BEFORE THE REPAIR COMPLETED TO IT'S PREDAMAGED STATE.

D. COORDINATION AND CONSTRUCTION

- CONTRACTOR SHALL COMPLETE ALL WORK REQUIR ACCORDANCE WITH PROJECT SPECIFICATIONS, DRA SPECIFICATIONS AND DRAWINGS COMPLEMENT EAC THOROUGHLY REVIEW BOTH BEFORE PROCEEDING V
- ENGINEER'S OBSERVATION AND REVIEW OF CONTRAC 2 REVIEW OF ADEQUACY OF CONTRACTOR'S SAFETY I SITE.
- CONTRACTOR SHALL SUPERVISE AND DIRECT WORK ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES PART OF THEIR RESPONSIBILITY, CONTRACTOR SHAI STRUCTURAL ENGINEER TO DESIGN AND SUPERVISE WORKMEN.
- 4. SHOP DRAWINGS AND INSTALLATION DRAWINGS SHA REVIEW. SUBMITTALS PREPARED BY SUPPLIERS AN BY TRADE CONTRACTOR AND GENERAL CONTRACTOR SUBMITTING TO ENGINEER.
- a. FIELD VERIFY ALL EXISTING DIMENSIONS, ELE FABRICATION AND SHOW ON SHOP DRAWINGS.
- b. VERIFY AND SHOW EXACT SIZE AND LOCATION OTHER ITEMS.
- SHOW AND LOCATE ALL SLEEVES, EMBEDS, DR ITEMS NOT SUBMITTED FOR REVIEW TO ENGINE STRUCTURE.
- d. SUBMIT COMPLETE SHOP DRAWINGS WITH MAN CONNECTIONS AND DETAILS NECESSARY TO FU WORK. ENGINEER'S REVIEW SHALL BE FOR GENERAL
- STRUCTURAL INTENT ONLY. 5. SPECIFICATIONS AND DRAWINGS TYPICALLY REFER 1
- OTHERWISE, THEY DO NOT PRESCRIBE METHOD OF C
- 6. BRACE ENTIRE STRUCTURE AND PORTIONS THEREO UNTIL COMPLETE AND FUNCTIONING AS DESIGNED U
- 7. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL COMPLETION OF THIS PROJECT.
- 8. CONTRACTOR SHALL APPLY, SECURE, AND PAY FOR LICENSES, AND APPROVAL FOR COMPLETION OF WOR
- 9. ALL LOCATIONS AND QUANTITIES OF WORK SHOWN A CONFIRMED BY CONTRACTOR IN FIELD. ENGINEER IS APPROXIMATED AMOUNT PRIOR TO BEGINNING WORK
- 10. ALL DETAILS, SECTIONS, AND NOTES ON DRAWINGS SITUATIONS ELSEWHERE, UNLESS NOTED OTHERWIS
- 11. NEW CONSTRUCTION WORK SHALL ALIGN WITH AND N EXCEPT WHERE OTHERWISE DIMENSIONED OR DETA
- 12. ANY ADJACENT EXISTING FINISHES AND/OR EQUIPME CONSTRUCTION WORK SHALL BE REPAIRED OR REPL
- 13. CONTRACTOR WILL COORDINATE ALL CONSTRUCTION WITH OWNER AND ENGINEER. CONTRACTOR TO SUB APPROVAL PRIOR TO STARTING WORK.
- 14. CONTRACTOR SHALL FURNISH OWNER AND ENGINEE NORMAL WORKING HOURS.
- 15. CONTRACTOR SHALL DISPOSE OF ALL DEBRIS OFF
- 16. CONTRACTOR SHALL INCLUDE ALL COST FOR LABOR. BID TO CLEAN BIRD OR OTHER ANIMAL EXCREMENT I

E. WORK AREA RESTRICTIONS

- 1. IN ACCORDANCE WITH GENERALLY ACCEPTED CONS BE SOLELY AND COMPLETELY RESPONSIBLE FOR CO INCLUDING SAFETY OF ALL PERSONS AND PROPERT REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT
- 2. CONTRACTOR IS RESPONSIBLE FOR SITE ONCE MOB WORK. EXAMPLES OF MOBILIZATION INCLUDE BUT TEMPORARY PROTECTION, ERECTION OF RIGGING, COMPLETE AFTER ALL REPAIRS ARE COMPLETE, WO CONDITION, AND OWNER IS NOTIFIED. OWNER HAS REPORT ANY DAMAGE CAUSED BY CONTRACTOR. D PROPER PROTECTION IS TO BE REPAIRED PER OWNE EXPENSE.
- 3. STRUCTURE EGRESS AND LOADING DOCKS MUST BE MAINTAINED AT ALL TIMES. ENTRANCES IMPACTED BY WORK ACTIVITIES WILL REQUIRE EITHER OVERHEAD PROTECTION OR PERSONNEL TO TEMPORARY CONTROL ACCESS AND CONSTRUCTION ACTIVITIES. REVIEW WITH OWNER ACCESS ROUTES AND PROTECTIONS MEASURES NEEDED PRIOR TO BEGINNING WORK.

		AT ALL WORK AREAS, CONTRACTOR TO PROVIDE ACCESS TO DESIGN TEAM AND OWNER FOR OBSERVATION OF CONSTRUCTION ACTIVITIES. PRIOR TO REMOVAL OF EXTERIOR ACCESS EQUIPMENT (SWING STAGES, AERIAL PLATFORMS, ETC.), PROVIDE DESIGN TEAM (3) BUSINESS DAYS NOTICE TO ALLOW FOR SITE OBSERVATION TRIP. IF NOTICE IS NOT PROVIDED, CONTRACTOR WILL BE REQUIRED TO PROVIDE NEW ACCESS EQUIPMENT FOR SITE OBSERVATION TRIP.		5. 6.	PLAC CONC PLAC INDIC ENGII	CRE E N CAT
F: Pm = IsPg = 20 PSF	ł	5. CONTRACTOR SHALL PROVIDE ALL SIGNAGE REQUIRED TO CLEARLY ESTABLISH WORK AREAS AS RESTRICTED AND OFF LIMITS TO PUBLIC. ALL SIGNS SHALL BE PROFESSIONALLY PREPARED AND REVIEWED IN ADVANCE BY OWNER.	I.	7. REI	CONC	
= 107 MPH; [Vasd = 82.9 MPH]	(6. CONTRACTOR SHALL PROVIDE ALL SIGNAGE AND ADDITIONAL TRAFFIC CONTROL METHODS TO SAFELY REROUTE PEDESTRIAN AND VEHICULAR TRAFFIC AROUND WORK AREAS. IF NECESSARY, PROVIDE TRAFFIC CONTROL PERSONNEL.		1. 2.	REFE	
0.85 SED BUILDING, GCpi = +/- 0.18	7	CONTRACTOR SHALL PROVIDE MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY WORK REMAINS WITHIN WORK AREA AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS FOR ALL PATRONS AND MECHANICAL SYSTEMS.		3.	REINF a.	
ON: Ss = 0.154, S1 = 0.064	8	3. CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER PROTECTION TO PREVENT WATER ENTRY INTO STRUCTURE AND TO MAINTAIN STRUCTURE IN WEATHER TIGHT CONDITION. ENSURE THAT PROTECTION IS IN PLACE AND WATERTIGHT BEFORE END OF EACH DAY'S WORK. DURING		4.	FURN EDGE	ES.
: Sds = 0.164, Sd1 = 0.103		WORK, CONTRACTOR SHALL BE PREPARED FOR UNEXPECTED WEATHER CHANGES, SO THAT TEMPORARY PROTECTION CAN BE QUICKLY INSTALLED.		5. 6.	PROV PLAC	
ORDINARY PRECAST SHEAR WALLS	Ş	2. CONTRACTOR SHALL MAINTAIN CLEAN AND ORDERLY SITE AND STORAGE AREA.		0.	AS SH PLAC	HO\
5 AL FORCE PER ASCE 7	F. I	EXISTING CONDITIONS PROTECTION REQUIREMENTS		7.	ALL F	
RE. THE WORK SHALL NOT MAKE THE GARAGE AIR WAS UNDERTAKEN. THE REPAIRS WILL BE	1	. "SITE" IS DEFINED AS CURRENT REPAIR AREAS IN WHICH WORK IS OCCURRING PLUS STAGING AREAS AND ALL ADJACENT STRUCTURES AND LANDSCAPE FEATURES WHICH COULD BE AFFECTED BY WORK:	J.	стI	OTHE RUCTI	
AIR WAS UNDERTAKEN. THE REPAIRS WILL BE		a. REPAIR AREAS ARE INDICATED ON DRAWINGS.	J.	311 1.	MATE	
		b. ITEMS THAT COULD AFFECT ADJACENT STRUCTURES AND LANDSCAPE FEATURES INCLUDE BUT ARE NOT LIMITED TO RIGGING OR LIFT ACCESS, FALLING DEBRIS, BLOWING DEBRIS, FUMES.				WIL STI
RAWINGS, AND REFERENCED STANDARDS. ACH OTHER. CONTRACTOR SHALL IG WITH ANY WORK.		c. EXAMPLES OF ADJACENT STRUCTURE AND LANDSCAPE FEATURES INCLUDE BUT ARE NOT LIMITED TO ADJACENT FACADE ELEVATIONS, ROOF AREAS ABOVE REPAIR USED FOR RIGGING, ALL AREAS BELOW WORK EITHER ROOF OR GRADE, AND STAGING AREAS.			d.	RO SQ OT BO
RACTORS' PERFORMANCE DOES NOT INCLUDE Y MEASURES IN, ON, OR NEAR CONSTRUCTION	2	2. PROVIDE TEMPORARY PROTECTION OF SITE DURING COURSE OF ALL PHASES OF WORK:				NO AN
RK AND SHALL BE SOLELY RESPONSIBLE FOR		a. CONSTRUCTION FENCING IS REQUIRED AROUND WORK AREA. PROVIDE 6'-0" HIGH TEMPORARY CONSTRUCTION FENCE WITH MESH SCREEN.		2.	PRET INDIC	
JES, SEQUENCES, AND PROCEDURES. AS HALL RETAIN SERVICES OF LICENSED ISE CONSTRUCTION OF ALL SCAFFOLDING FOR	(PRIOR TO THE START OF WORK COMPLETE ALL PRE-CONSTRUCTION SURVEYS AND DOCUMENTATION OF SITE. COORDINATE WITH OWNER SPECIFIC SITE REQUIREMENTS PRIOR TO THE START OF WORK. REFER TO ADDITIONAL REQUIREMENTS BELOW FOR SPECIFIC STRUCTURE ELEMENTS.		3.	ALL V BE QU	ERV VEL
	4	4. GENERAL PROJECT/STRUCTURE REQUIREMENTS:		4.	ALL S	зте
AND SUB-CONTRACTORS SHALL BE REVIEWED TOR OR CONSTRUCTION MANAGER PRIOR TO		a. PRIOR TO START OF WORK, COORDINATE WITH OWNER ALL SPECIFIC SITE REQUIREMENTS INCLUDING BUT NOT LIMITED TO PROTECTION, SCHEDULING, AND PHASING.	К.	PO	ST-INS	ST
EVATIONS, AND CONDITIONS WHICH AFFECT SS.		 b. PRIOR TO START OF WORK, COMPLETE SURVEY OF SITE (VIDEO OR DIGITAL PHOTOS). REPORT TO OWNER DAMAGED STRUCTURE ELEMENTS NOT BEING REPAIRED. c. MOBILIZATION IS CONSIDERED ACCEPTANCE OF SITE REGARDLESS OF FAILURE TO SUBMIT 		1.	Post Appr "Mec Adhe	rov Ha
ON OF OPENINGS, EMBEDDED ANCHORS, AND DRAINS, ETC. ON COORDINATION DRAWINGS.	Į	DOCUMENTATION OF EXISTING CONDITION.			SUBN	/IT
INEER ARE NOT PERMITTED IN OR THROUGH		a. OPENINGS INCLUDE BUT ARE NOT LIMITED TO WINDOWS, DOORS, AND MECHANICAL		_	CONE	
IANUFACTURERS' DATA, ETC. SHOW ALL FULLY DESCRIBE AND PROPERLY INSTALL		OPENINGS (LOUVERS). b. PRIOR TO START OF WORK, SURVEY ALL OPENINGS AND DOCUMENT DAMAGED ITEMS. c. EXAMPLES OF DAMAGED GLAZING INCLUDES BUT ARE NOT LIMITED TO CRACKED OR		2.	MECH a.	
L ARRANGEMENT AND CONFORMANCE WITH		 d. EXAMPLES OF DAMAGED FRAMES OR DOORS INCLUDES BUT ARE NOT LIMITED TO DENTED 		3.	a. ADHE	
ER TO FINISHED STRUCTURE. UNLESS NOTED DF CONSTRUCTION.		OR SCRATCHED FINISH. e. PROTECT OPENINGS DURING ALL PHASES OF WORK. f. DAMAGE NOT EVIDENT IN DOCUMENTATION OR DAMAGE DURING COURSE OF WORK TO BE REPAIRED PER OWNER'S DIRECTION AT CONTRACTORS EXPENSE.		4.	<i>a.</i> ADHE	
EOF AS REQUIRED TO MAINTAIN STABILITY D UNIT.		g. DURING PERFORMANCE OF WORK, COORDINATE WITH OWNER TO SHUTDOWN AIR-INTAKE EQUIPMENT IN AREA WHERE WORK IS BEING PERFORMED TO PREVENT DUST AND DEBRIS FROM ENTERING AIR-HANDLING EQUIPMENT AND/OR INTO STRUCTURE INTERIOR.		т.	a.	
RIALS, AND EQUIPMENT FOR SUCCESSFUL		h. ALL INTERIOR WORK OR ACCESS NEEDS TO BE COORDINATED AT LEAST (72) HOURS' IN ADVANCE WITH OWNER PRIOR TO BEGINNING WORK.		5.	adhe Hybr	
DR ALL REQUIRED LOCAL PERMITS, FEES, VORK.	(EXISTING GRADE/LANDSCAPING REQUIREMENTS: a. EXAMPLES OF GRADE/LANDSCAPING INCLUDES BUT ARE NOT LIMITED TO PAVERS, PAVING 		6.	HOT I AND \$	
N ARE APPROXIMATE AND NEED TO BE R IS TO APPROVE ALL WORK IN EXCESS OF ORK.		(CONCRETE AND ASPHALT), TREES, SHRUBS, BUSHES, GRASS, SITE FEATURES (SITE WALLS, BOLLARDS), ETC. b. PRIOR TO START OF WORK, DOCUMENT (VIDEO OR DIGITAL PHOTO) CONDITION OF		7.	HOLE CABL OR PO	ES. OS
GS ARE INTENDED TO BE TYPICAL FOR SIMILAR WISE.		 GRADE/LANDSCAPING. SUBMIT DOCUMENTATION TO OWNER. c. COORDINATE PROTECTION WITH OWNER. d. PROTECT DURING ALL PHASES OF WORK. e. DAMAGE NOT EVIDENT IN DOCUMENTATION OR DAMAGE TO GRADE/LANDSCAPING DURING 		8.	POST HOLE REMO	S II
ND MATCH EXISTING CONSTRUCTION WORK TAILED.		COURSE OF WORK TO BE REPLACED PER OWNER'S DIRECTION AT CONTRACTORS EXPENSE.			and i Air.	BLC
PMENT DAMAGED DURING DEMOLITION OR EPLACED AT CONTRACTOR'S EXPENSE.		SAFETY . PROJECT SAFETY IS RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL PROVIDE ALL		9.	INSTA THAT HUMI	ME
TION ACTIVITIES, SCHEDULE, AND PHASING SUBMIT PHASING PLAN FOR REVIEW AND	I	MEASURES NECESSARY TO PROTECT PATRONS, STAFF, GENERAL PUBLIC, WORKERS, AND STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT LIMITED TO BARRICADES, OVERHEAD PROTECTION, BRACING, SHORING FOR CONSTRUCTION EQUIPMENT,		10.	INSTA PROV	all. /Ide
NEER ACCESS TO ALL WORK AREAS DURING		 SCAFFOLDING, PLANKING, SAFETY NETS, SUPPORT, AND BRACING FOR CRANES. CONTRACTOR SHALL SUBMIT ALL SAFETY PLANS AND DATA TO OWNER FOR REVIEW AND COMMENT. 	L.	ME	Diami Chan	
F SITE IN LAWFUL MANNER.	:	3. CONTRACTOR, AT HIS OWN EXPENSE, SHALL ENGAGE PROPERLY QUALIFIED PERSONS TO		1.	ALUN	
OR, MATERIAL, RENTAL EQUIPMENT, ETC. IN IT IN ORDER TO PERFORM WORK.		DETERMINE WHERE AND HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED AND INSPECT SAME IN FIELD. OBSERVATION VISITS TO SITE BY FIELD REPRESENTATIVE OF ENGINEER SHALL NOT INCLUDE INSPECTION OF ABOVE ITEMS.		2.	ALL T THEIF	r s'
NSTRUCTION PRACTICES, CONTRACTOR WILL CONDITIONS OF JOB SITE AND WORK AREAS, RTY DURING PERFORMANCE OF WORK. THIS IOT BE LIMITED TO NORMAL WORKING HOURS.	2	DUTY OF ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF ADEQUACY OF CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR CONSTRUCTION SITE. "SITE" IS DEFINED AS CURRENT REPAIR AREAS IN WHICH WORK IS OCCURRING PLUS STAGING AREAS AND ALL ADJACENT STRUCTURES AND LANDSCAPE FEATURES WHICH COULD BE AFFECTED BY WORK.			Ь. с.	ALI STI
OBILIZATION HAS BEGUN TO COMPLETION OF T ARE NOT LIMITED TO ERECTION OF				3.	SIZE	AN
G, AND STAGING MATERIALS. WORK IS WORK AREA IS CLEANED TO ORIGINAL S (7) DAYS TO REVIEW WORK AREA AND		. REFER TO PROJECT SPECIFICATIONS FOR APPROPRIATE MATERIALS, INCLUDING READY MIX DESIGN AS APPLICABLE, AND PROCEDURES.			SUPP NECE MUST	ESS F EN
DAMAGE CAUSED BY WORK OR LACK OF VNER'S DIRECTION AT CONTRACTOR'S	2	 CONCRETE STRENGTHS: a. TYPICAL CONCRETE UNLESS NOTED OTHERWISE: 5,000 PSI WITH 5-7% AE 			PRIO	τI
BE MAINTAINED AT ALL TIMES. ENTRANCES		a. TYPICAL CONCRETE ONLESS NOTED OTHERWISE: 5,000 PSI WITH 5-7% AE				

- 3. PROVIDE 3/4" BEVELS AT CORNERS OF ALL EXPOSED COLUMNS, EDGES OF EXPOSED BEAMS AND SLABS, AND TOP EDGES AND CORNERS OF EXPOSED WALLS UNLESS NOTED OTHERWISE BY DETAILS OR PROJECT SPECIFICATIONS.
- 4. JOINTS NOT INDICATED ON DRAWINGS ARE NOT PERMITTED UNLESS APPROVED BY ENGINEER.

- E NO PERMANENT LOAD, SUCH AS MASONRY WALLS, ON SUPPORTEI CRETE HAS REACHED SPECIFIED STRENGTH AND ALL SHORING HAS I
- E NO OPENINGS, SLEEVES, INSERTS, ETC. IN CONCRETE WORK UNLE ATED ON DRAWINGS IS MET, OR SPECIFIC SIZE AND LOCATION IS AP NFFR
- CRETE CONSTRUCTION TOLERANCES ARE AS SHOWN IN PROJECT SF

RCING STEEL

- R TO PROJECT SPECIFICATIONS FOR APPROPRIATE MATERIALS AND
- REINFORCING BARS: 60 KSI YIELD
- FORCE ALL SLABS AS FOLLOWS, UNLESS NOTED OTHERWISE: 6x6-W4.0xW4.0 (58#) WWF
- IISH WWF IN FLAT SHEETS. LAP SHEETS (2) WIRES (1 FULL WIRE SPA ES. STAGGER ADJACENT SHEETS TO AVOID (4) CORNER LAPS.
- /IDE TENSION SPLICES UNLESS NOTED OTHERWISE.
- E WITH MINIMUM CLEAR COVER BETWEEN REINFORCING STEEL AND HOWN. IF NOT SHOWN, PROVIDE CLEAR COVER PER ACI. ALL REINFO ED AS SHOWN AND DETAILED, AND WITHIN ACI TOLERANCE.
- REINFORCING BARS AND WELDED WIRE FABRIC TO BE EPOXY COATE ERWISE

URAL STEEL AND MISCELLANEOUS METALS

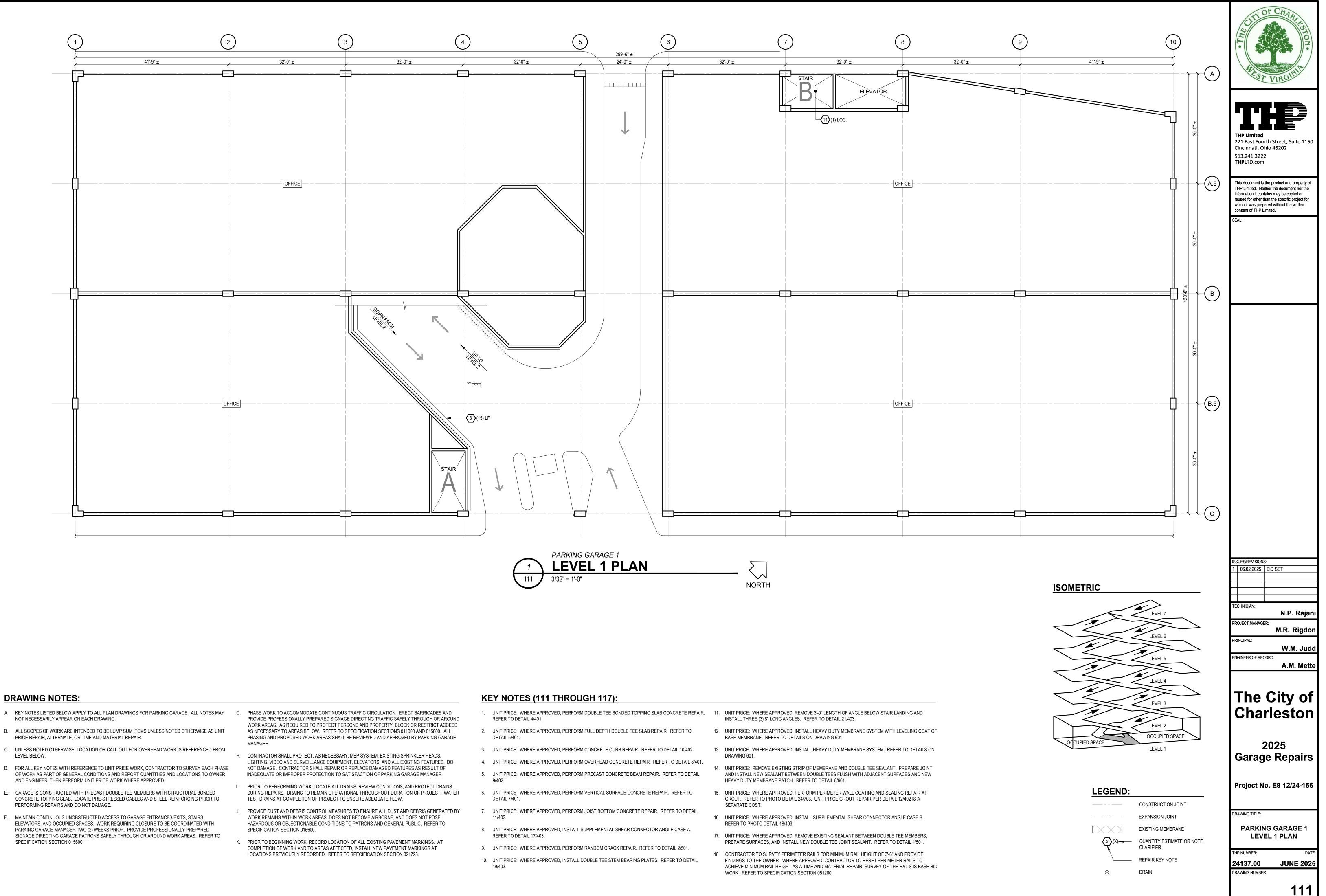
ERIAL:

- WIDE FLANGE SHAPES: ASTM A992 (Fy 50 KSI)
- STEEL PIPES: ASTM A53, GRADE B (Fy 35 KSI) HOLLOW STRUCTURAL SECTIONS (HSS): ASTM A500, GRADE C (HSS)
- SQUARE AND RECTANGULAR Fy 50 KSI) OTHER ROLLED SHAPES, PLATES, AND BARS: ASTM A36 (Fy 50 KSI)
- BOLTS: ASTM F3125, GRADE F1852, TYPE 1, 120 KSI, 3/4" MINIMUM DIA NOTED OTHERWISE
- ANCHOR RODS: ASTM F1554 (Fy 36 KSI), UNLESS NOTED OTHERWISE
- ENSION ALL BOLTS. WHERE F1852 ASSEMBLIES CANNOT BE INSTALL ATING, LOAD INDICATOR WASHERS WITH A325 BOLTS, AND A563 NUT ERWISE.
- VELDING MATERIALS, WELDING PROCEDURES, AND OPERATORS PER UALIFIED PER AWS D1.1.
- STEEL SHALL BE HOT DIP GALVANIZED, U.N.O.
- STALLED ANCHORS AND ADHESIVE ANCHORING TO CON
- -INSTALLED ANCHORS AND ADHESIVE ANCHORING SYSTEMS MUST E ROVED USING ICC EVALUATION SERVICE ACCEPTANCE CRITERIA. INC HANICAL ANCHORS IN CONCRETE ELEMENTS" OR ICC-ES AC308: "PC ESIVE ANCHORS IN CONCRETE ELEMENTS". CONCRETE SHALL BE CO /IT MANUFACTURER'S DATA AND EVALUATION REPORT (ESR) FOR PR ESIVES, AND ANCHORING SYSTEMS. INDICATE SPECIFIC PROJECT LC DITIONS WHERE PROPOSED FOR USE.
- HANICAL ANCHORS BASIS OF DESIGN
- HILTI KWIK BOLT TZ2 EXPANSION ANCHORS
- ESIVE ANCHORING OF RODS AND REBAR TO CONCRETE BASIS OF DE
- HILTI HIT-HY 200 HYBRID ADHESIVE ANCHORING SYSTEM
- ESIVE ANCHORING OF RODS AND REBAR TO MASONRY BASIS OF DES HILTI HIT-HY 270 WITH SCREEN TUBES
- ESIVE ANCHORING SHALL NOT BE USED IN OVERHEAD OR UPWARD C RID ADHESIVE WITH ESR FOR HORIZONTAL CONDITIONS.
- DIP GALVANIZED OR STAINLESS STEEL ANCHORS, RODS, AND HARDW STAIR TOWER APPLICATIONS, UNLESS NOTED OTHERWISE.
- S INTO CONCRETE MUST NOT INTERFERE WITH REINFORCING BARS ES. CONTRACTOR TO USE FERRO-SCAN OR OTHER MEANS TO LOCA OST-TENSIONED CABLES IN AREA. SPACE HOLES TO FIT AROUND RE -TENSIONED CABLES, SET ANCHORS WITH TEMPLATE, AND FABRICA
- S IN CONCRETE SHALL BE PROPER SIZE AND THOROUGHLY CLEANE OVED. DRILL HOLES USING HOLLOW BIT AND FUNCTIONING VACUUM BLOW OUT REPEATEDLY WITH CLEAN, OIL FREE, AND DRY, HIGH PRE
- ALL INTO DRY CONCRETE IN CLEAN, DUST FREE HOLES USING METH(MEETS MANUFACTURER'S RECOMMENDATIONS INCLUDING TEMPER DITY, INSTALLATION TIME, AND CURE TIME. FOLLOW MANUFACTURE ALLATION INSTRUCTIONS.
- /IDE STANDARD SIZE HOLES IN FASTENED STEEL ELEMENT (1/16" LAR ETER) TO MATCH TEMPLATE OF INSTALLED ANCHORS. DO NOT OVER

IICAL AND OTHER ITEMS EMBEDDED IN OR SUPPORTED

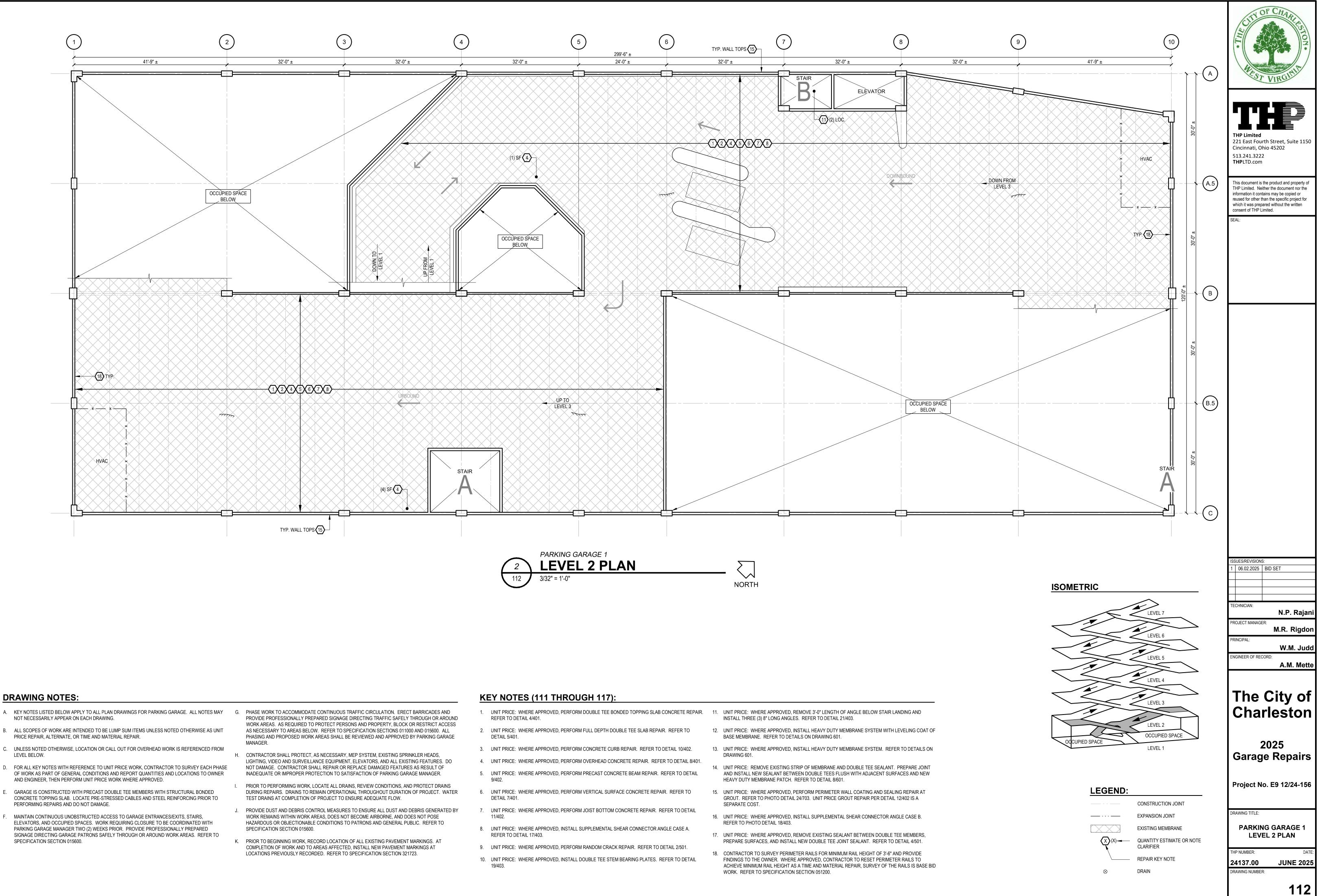
- /INUM CONDUITS, PIPES, OR SLEEVES ARE NOT PERMITTED IN CONC
- RADE CONTRACTORS (MEP, STAIR, WALL, ENVELOPE, SPECIALTY, ET
- R SYSTEMS, INCLUDING ATTACHMENTS TO STRUCTURE WITHIN FOLL
- LOADS ARE TO BE DISTRIBUTED TO STRUCTURE IN MANNER THAT D ALLOWANCES NOTED UNDER DESIGN LOADS AND SHALL NOT OVERI STRUCTURE.
- ANCHORS ARE TO HAVE AN ULTIMATE SAFETY FACTOR OF AT LEAST LOADS SUPPORTED BY WIDE FLANGE BEAMS ARE TO BE APPLIED IN NOT CAUSE TORSION ABOUT LONGITUDINAL AXIS OF BEAM.
- AND LOCATION OF EQUIPMENT AND OTHER ITEMS MUST BE COORDIN PORTING STRUCTURE. PROVIDE ADDITIONAL SUPPORTS AND ANGLE ESSARY. TRADE CONTRACTOR(S), GENERAL CONTRACTOR, AND CON FENSURE ACCURATE DIMENSIONAL INFORMATION IS PROVIDED TO S R TO FABRICATION.

			CITY OF CHARLESTON.
TED SLABS UNTIL S BEEN REMOVED.	М.	UTILITIES	The second secon
ILESS CRITERIA APPROVED IN WRITING BY		 PRIOR TO EXCAVATION AND EARTHWORK, VERIFY LOCATIONS OF UNDERGROUND UTILITIES WITH UTILITY COMPANIES, CONSTRUCTION MANAGER, AND OWNER. EXCAVATE OR SURVEY TO ESTABLISH EXACT UTILITY LOCATIONS. UTILITY LOCATIONS IF SHOWN ON CONTRACT DRAWINGS ARE ONLY APPROXIMATE AND CANNOT BE USED TO ASSURE CONTRACTOR OF 	ST VIRGINI
SPECIFICATIONS.		ADEQUATE CLEARANCE. 2. ALL UTILITIES SHALL BE ADEQUATELY PROTECTED FROM DAMAGE. WHERE UTILITIES ARE ENCOUNTERED, CONTRACTOR SHALL IMMEDIATELY NOTIFY UTILITY COMPANY, CONSTRUCTION	
ND PROCEDURES.		MANAGER, AND OWNER BEFORE PROCEEDING. ACTIVE UTILITIES ENCOUNTERED SHALL BE PROTECTED, SUPPORTED, OR RELOCATED AS DIRECTED. INACTIVE AND ABANDONED UTILITIES SHALL BE REMOVED, PLUGGED, OR CAPPED AS DIRECTED.	THP Limited 221 East Fourth Street, Suite 1150
	N	3. CALL APPROPRIATE UTILITIES PROTECTION SERVICE AND HAVE THEM LOCATED BEFORE DIGGING OR OTHER EARTHWORK OPERATION.	Cincinnati, Ohio 45202 513.241.3222 THP LTD.com
PACE) PLUS 2" AT ALL	N.	 QUALITY CONTROL AND ASSURANCE CONTRACTOR SHALL PERFORM QUALITY CONTROL, TESTING, AND INSPECTION OF ALL WORK AS REQUIRED BY CONTRACT DOCUMENTS, INCLUDING REFERENCED CODES, SPECIFICATIONS, AND STANDARDS. 	This document is the product and property of THP Limited. Neither the document nor the
ND CONCRETE SURFACES		 OWNER WILL EMPLOY TESTING AND INSPECTION AGENCY TO PERFORM SERVICES INDICATED TO BE BY OWNER IN PROJECT SPECIFICATIONS. 	information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.
TED, UNLESS NOTED		 OWNER WILL ALSO EMPLOY QUALIFIED SPECIAL INSPECTORS TO PERFORM INSPECTIONS IN ACCORDANCE WITH CHAPTER 17 OF BUILDING CODE. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS AND TESTS. ITEMS REQUIRING SPECIAL INSPECTION ON THIS PROJECT INCLUDE: 	SEAL:
		a. CONCRETE: ALL CONCRETE WORK b. STRUCTURAL STEEL: ALL WELDING AND HIGH STRENGTH BOLTING	
		4. ENGINEER MAY GENERALLY OBSERVE PROGRESS OF WORK, BUT HIS OBSERVATION SHALL NOT BE CONSTRUED AS INSPECTION.	
SS ROUND Fy 50 KSI; HSS			
DIAMETER, UNLESS ISE			
ALLED, USE F959 SELF UTS, UNLESS NOTED			
ERFORMING WELDING TO			
ONCRETE			
T BE TESTED AND NCLUDING ICC-ES AC193: POST-INSTALLED CONSIDERED CRACKED. PROPOSED ANCHORS, LOCATIONS AND			
DESIGN:			
ESIGN:			
CONDITIONS. USE			
DWARE FOR EXTERIOR			
RS OR POST-TENSIONED CATE REINFORCING BARS REINFORCING BARS OR CATE FIXTURE TO MATCH.			ISSUES/REVISIONS: 1 06.02.2025 BID SET - - -
NED WITH ALL DUST IM SYSTEM, THEN BRUSH RESSURE COMPRESSED			TECHNICIAN: N.P. Rajar
HOD AND PROCEDURE ERATURE RANGE, RER'S PRINTED			PROJECT MANAGER: M.R. Rigdo PRINCIPAL:
ARGER THAN ROD /ERSIZE HOLES.			W.M. Jud ENGINEER OF RECORD: A.M. Mett
D FROM STRUCTURE			
ETC.) ARE TO DESIGN LLOWING LIMITATIONS:			The City of Charleston
DOES NOT EXCEED LOAD RLOAD OR DAMAGE			Charleston
ST 4.0. IN MANNER WHICH DOES			2025 Garage Repairs
DINATED WITH LE FRAMES WHERE ONSTRUCTION MANAGER) STEEL FABRICATOR			Project No. E9 12/24-156
			DRAWING TITLE: GENERAL NOTES
			THP NUMBER: DATI
			24137.00 JUNE 202 DRAWING NUMBER:

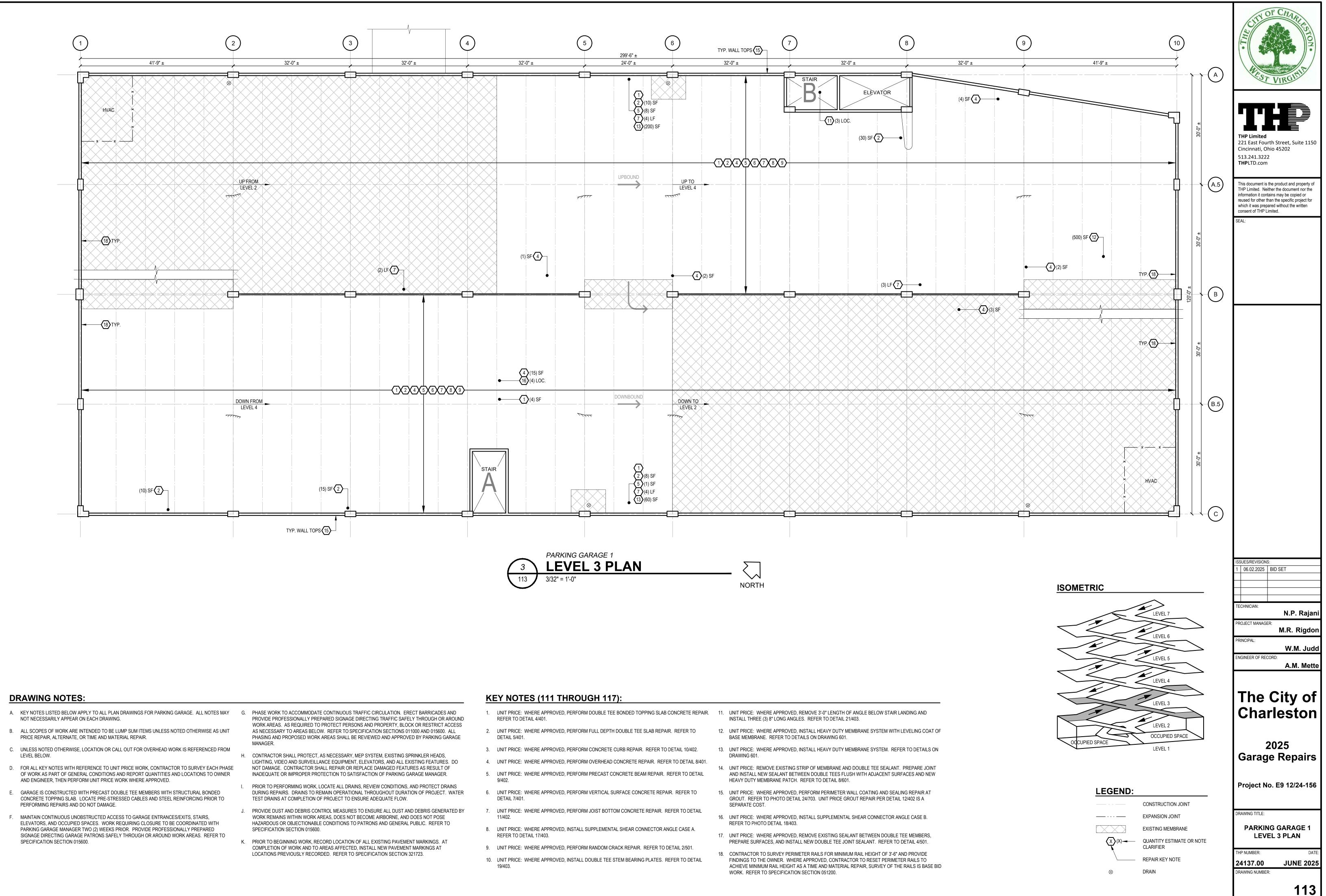


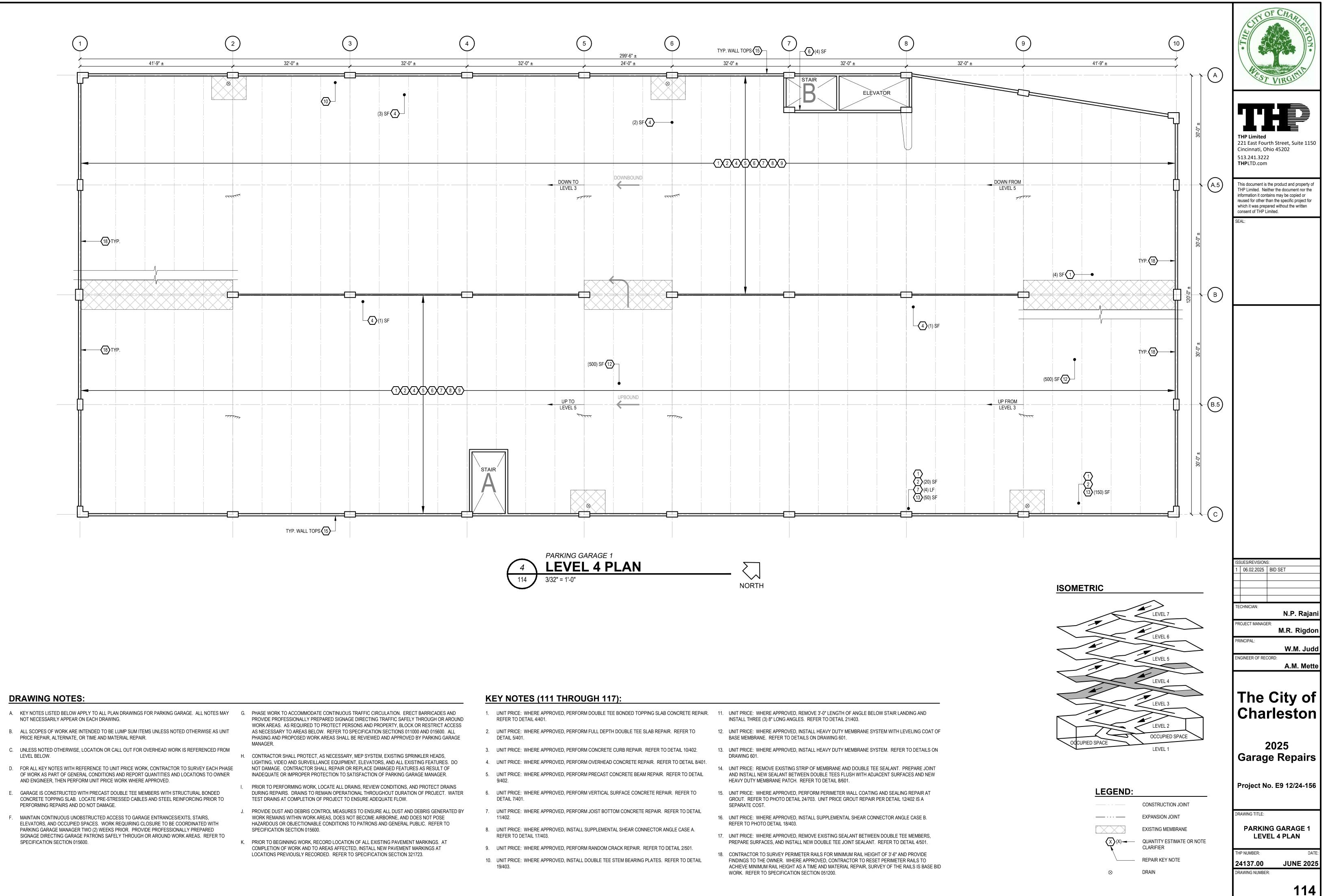
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM

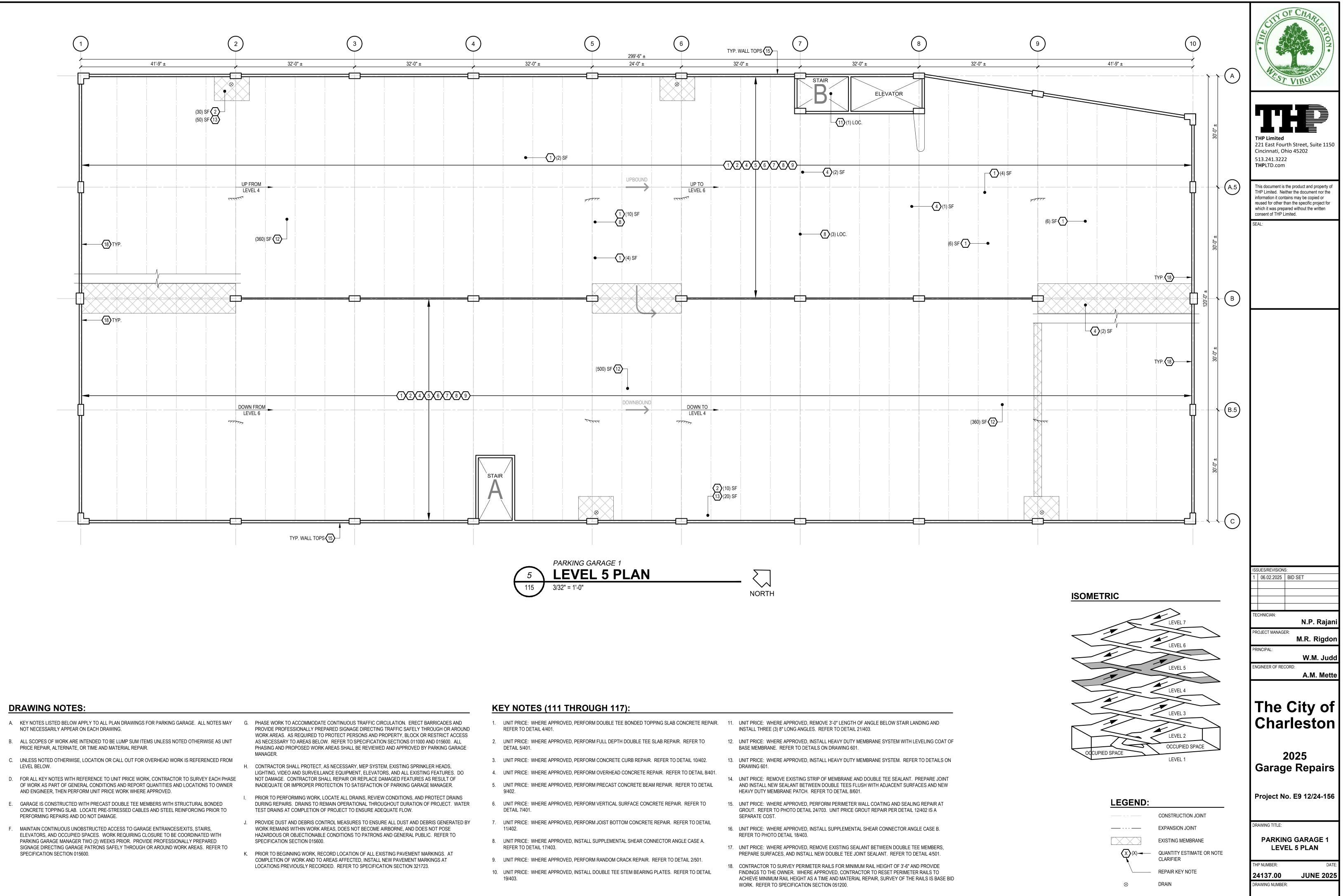
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS,

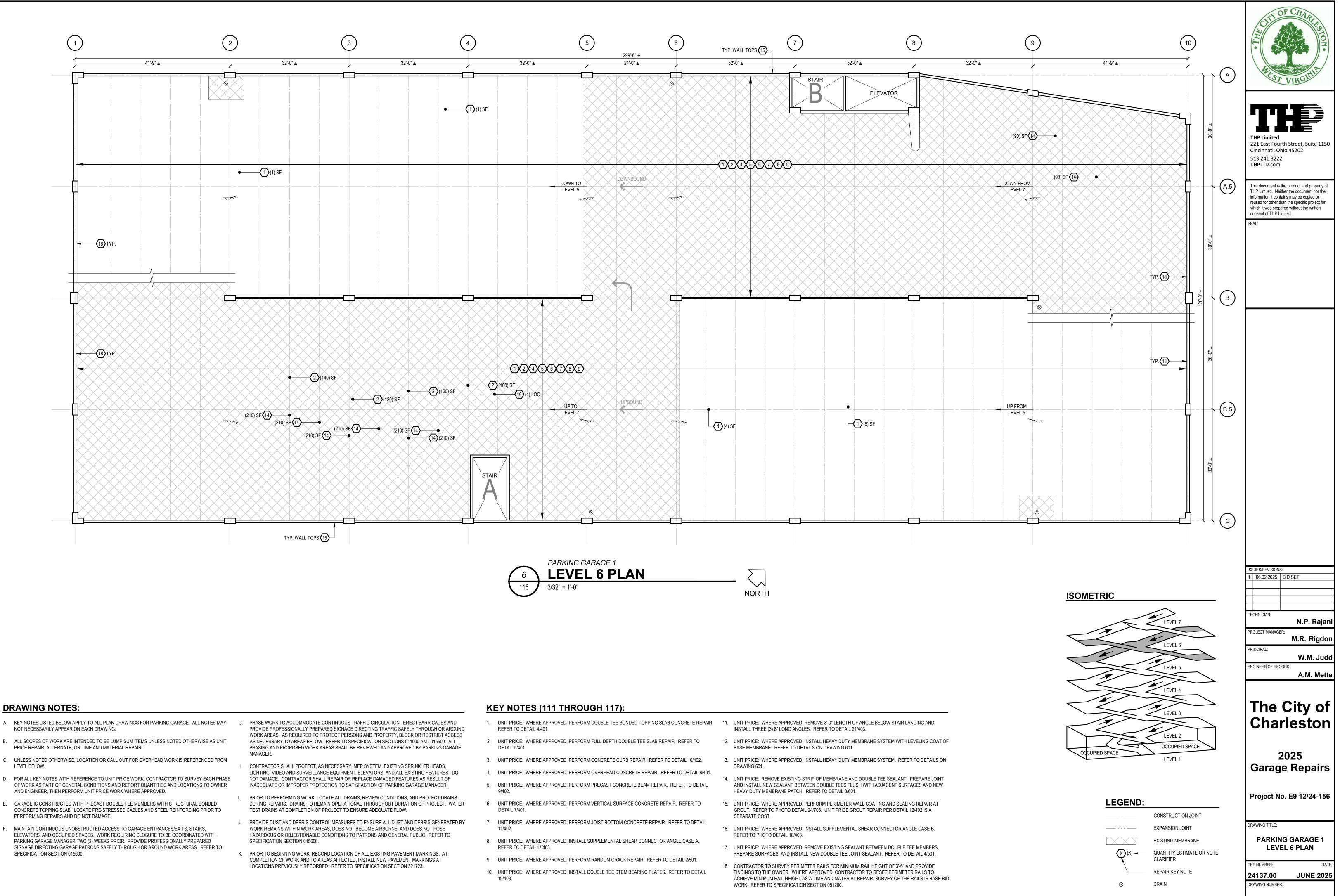


- NOT NECESSARILY APPEAR ON EACH DRAWING.
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT PRICE REPAIR, ALTERNATE, OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- CONCRETE TOPPING SLAB. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.

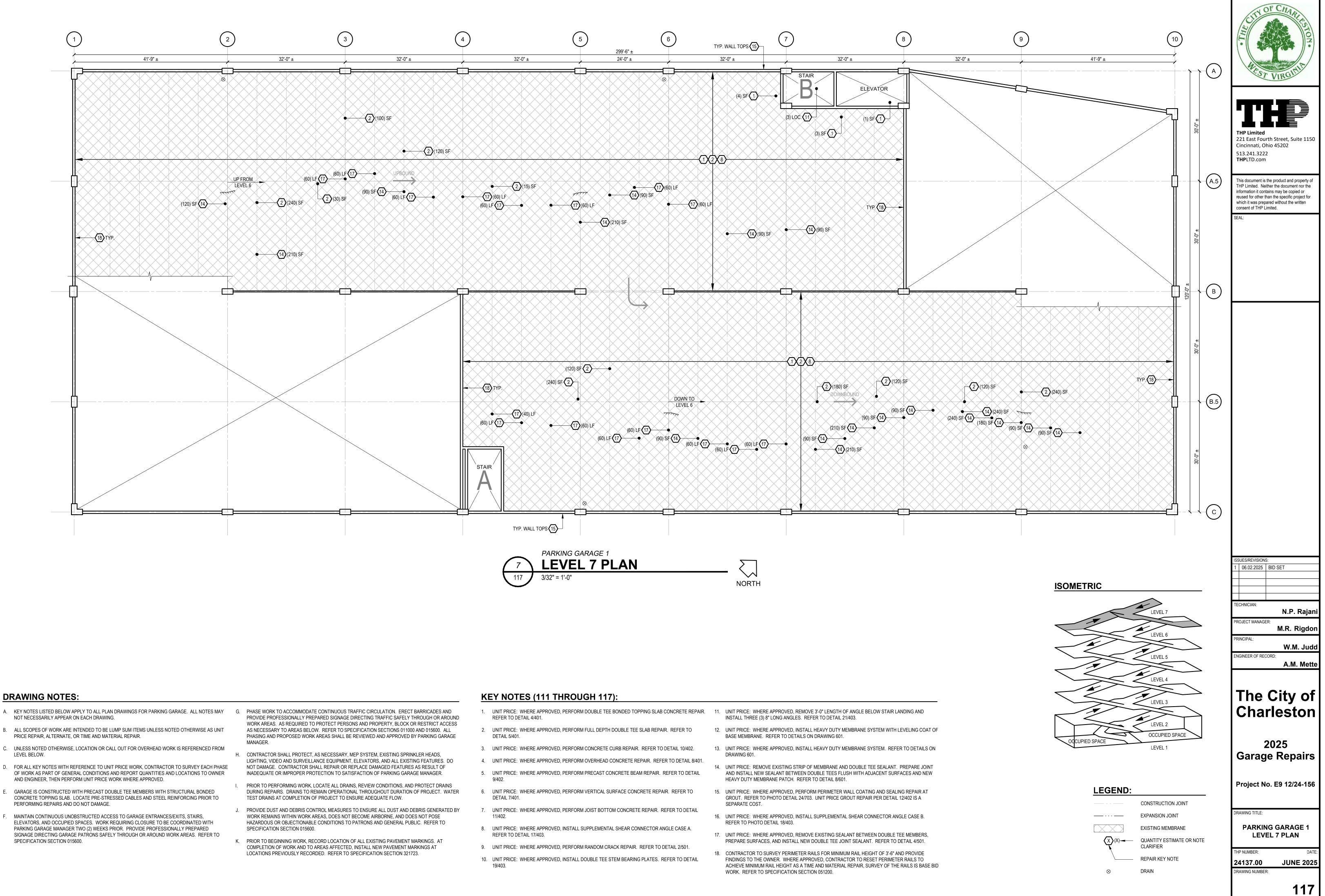




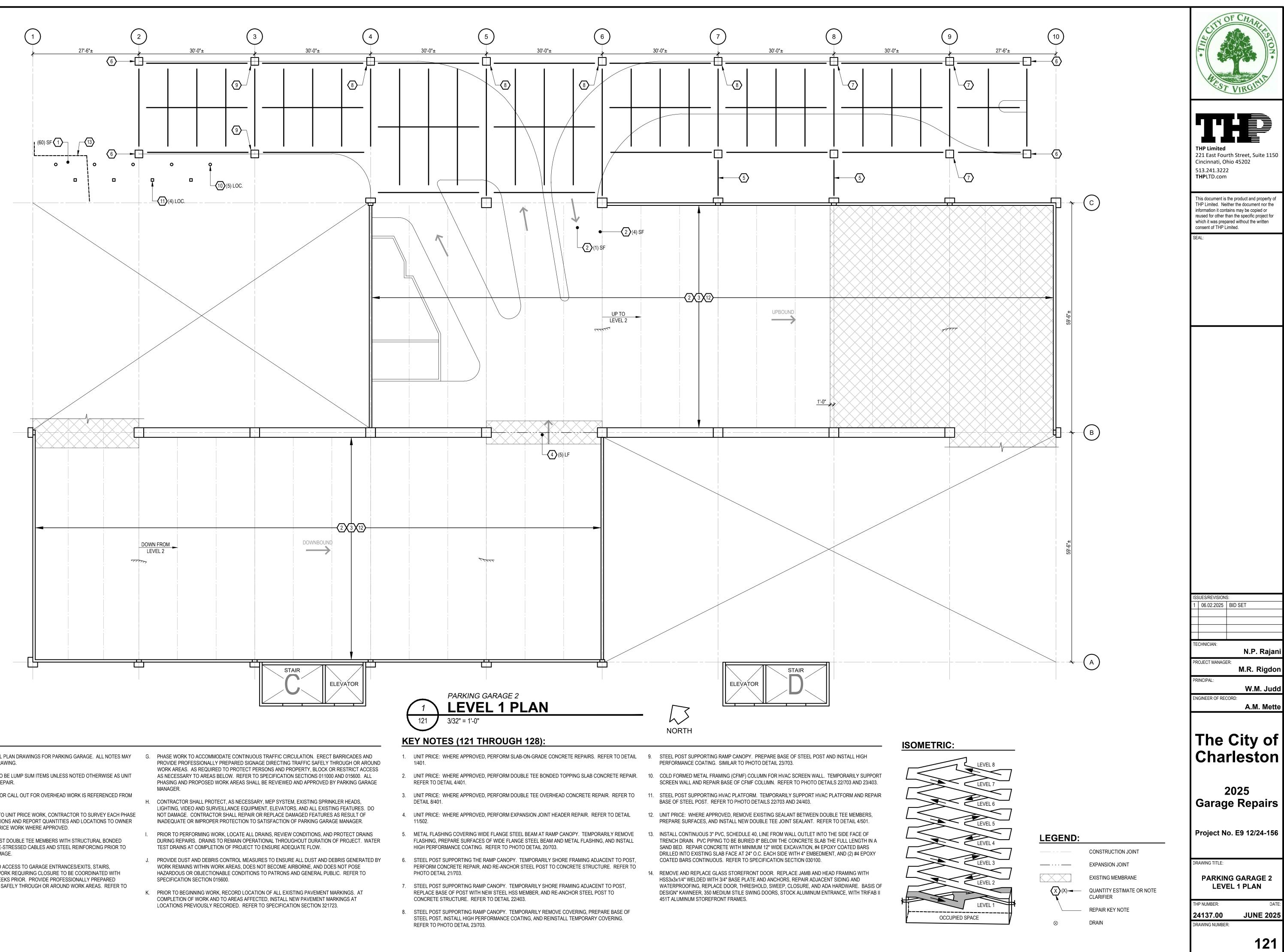




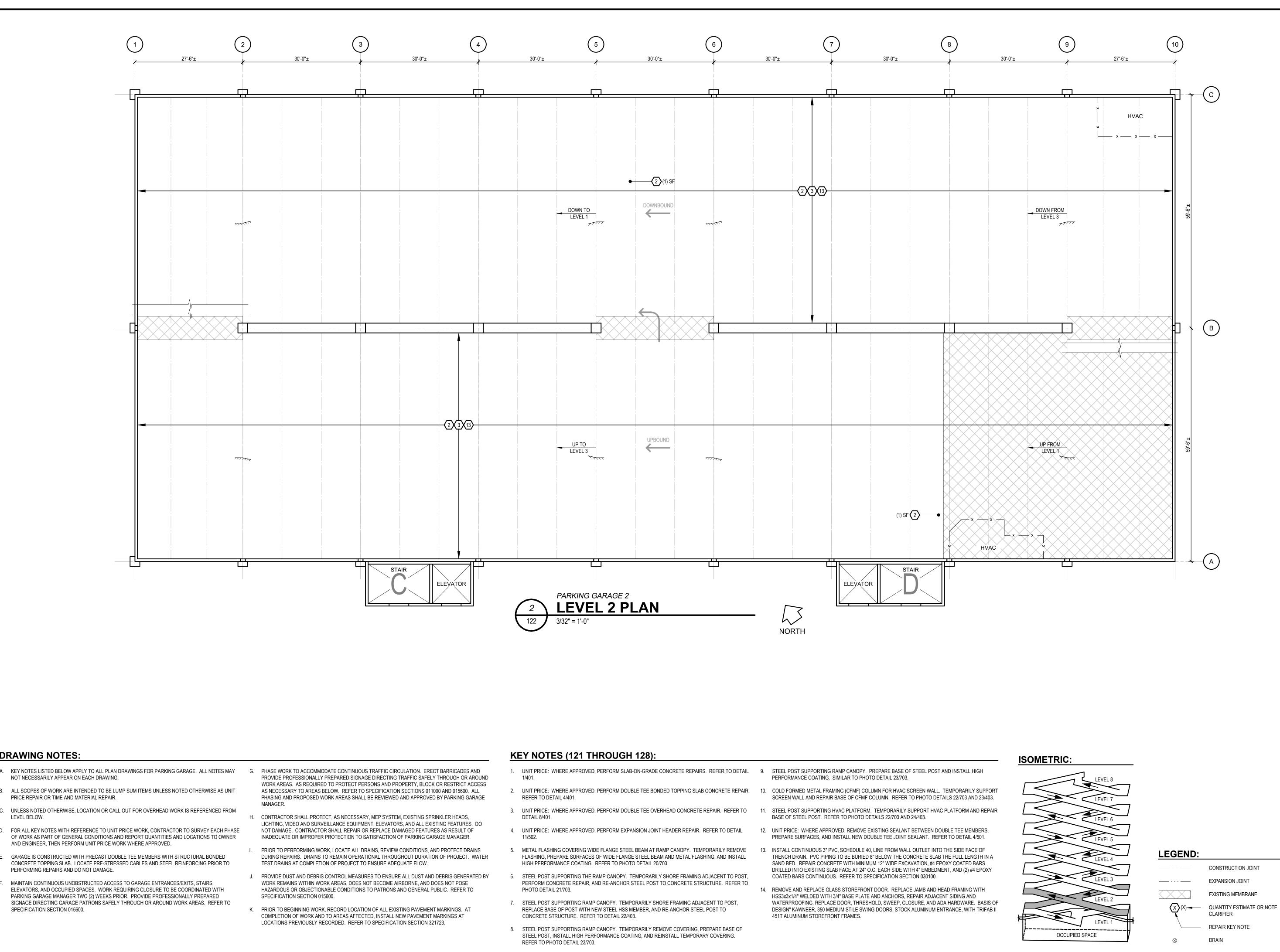
- NOT NECESSARILY APPEAR ON EACH DRAWING.
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT PRICE REPAIR, ALTERNATE, OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- CONCRETE TOPPING SLAB. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.



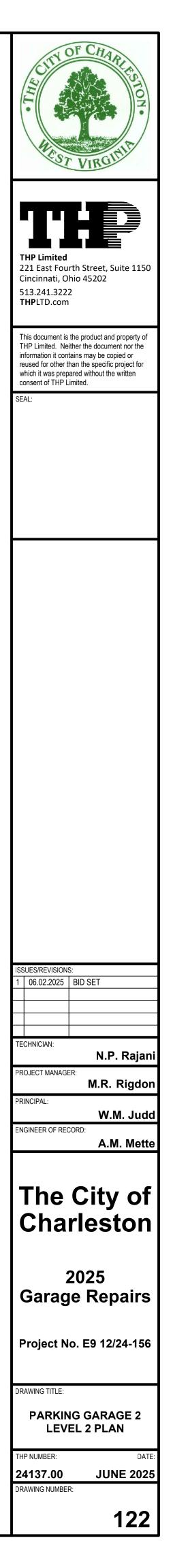
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS,

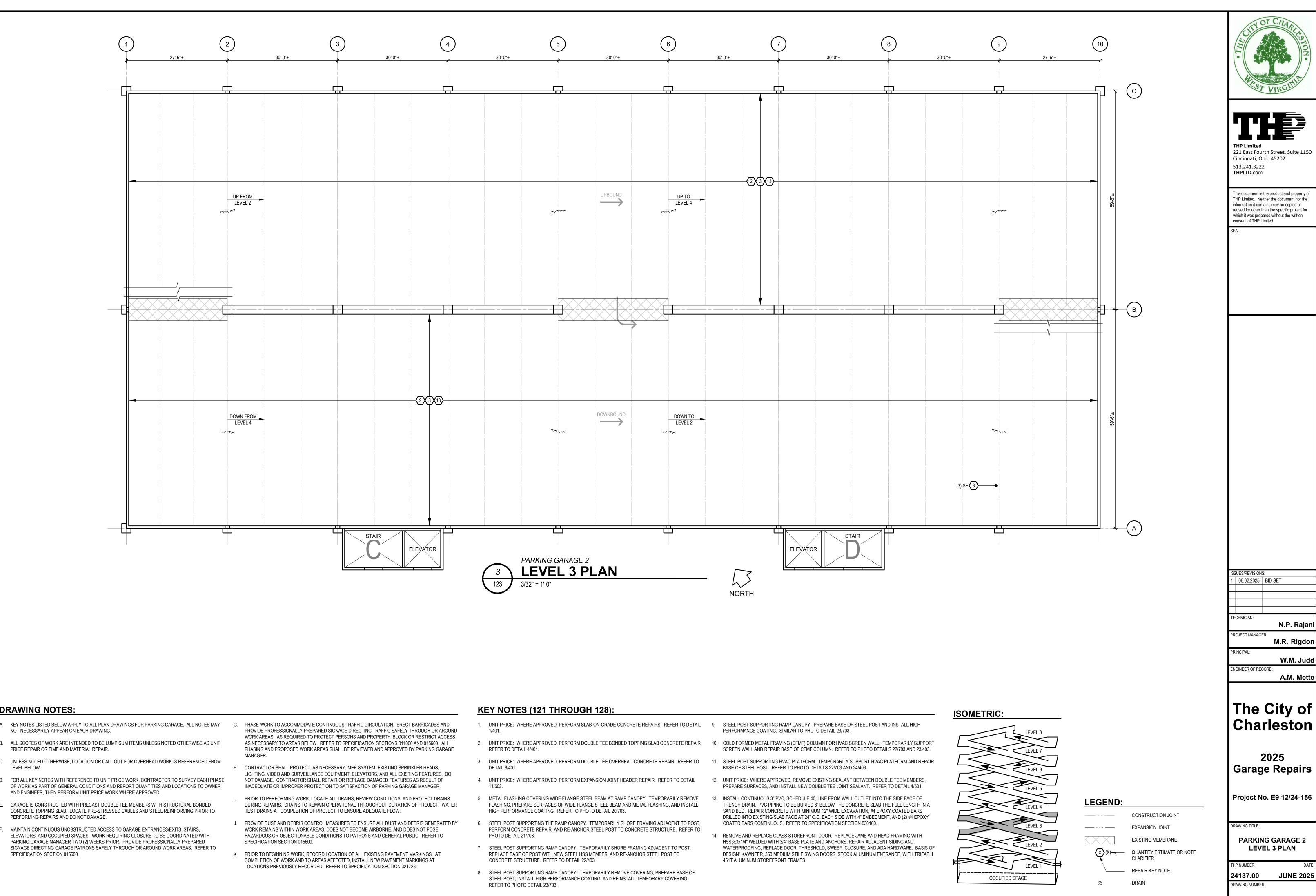


- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY NOT NECESSARILY APPEAR ON EACH DRAWING.
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- GARAGE IS CONSTRUCTED WITH PRECAST DOUBLE TEE MEMBERS WITH STRUCTURAL BONDED CONCRETE TOPPING SLAB. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.

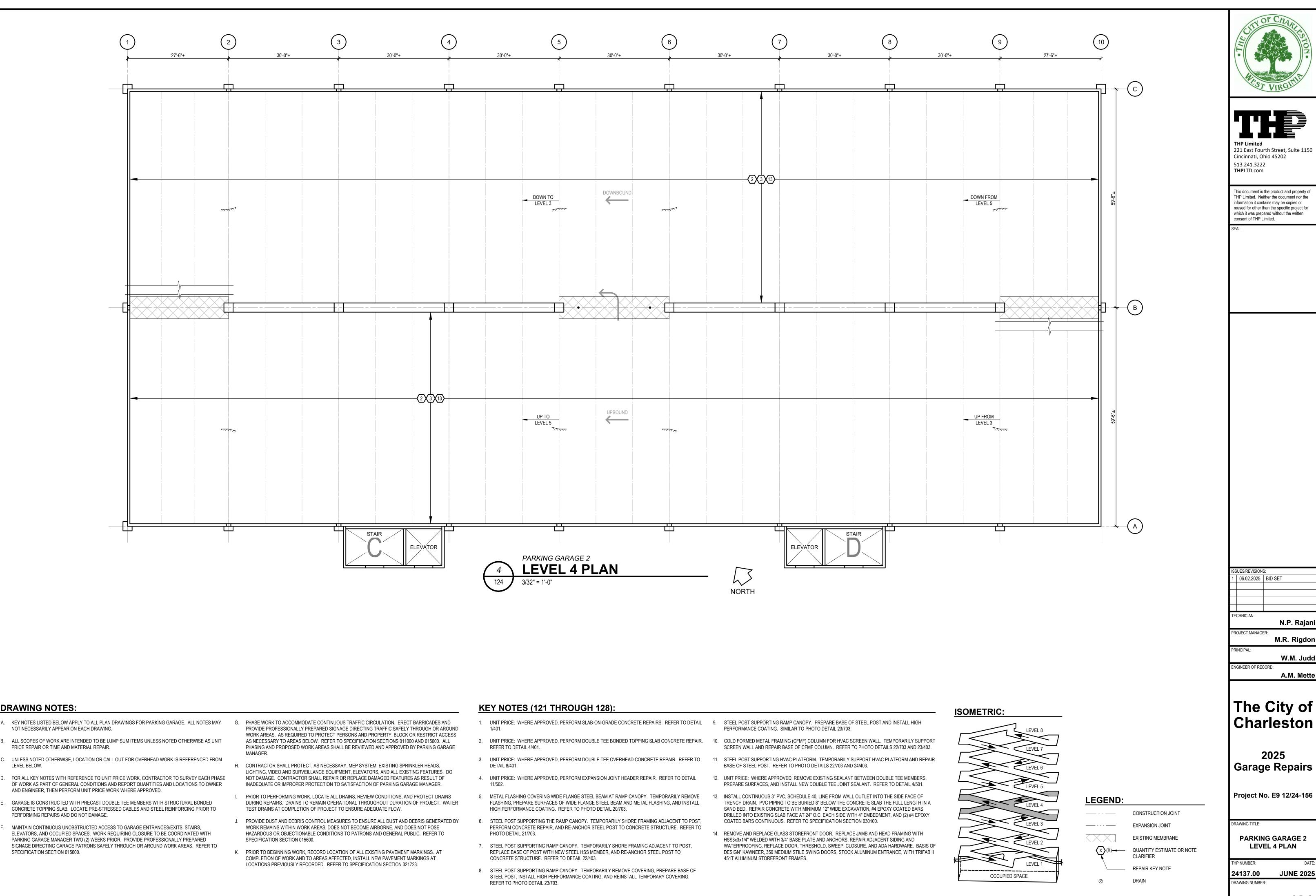


- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS,

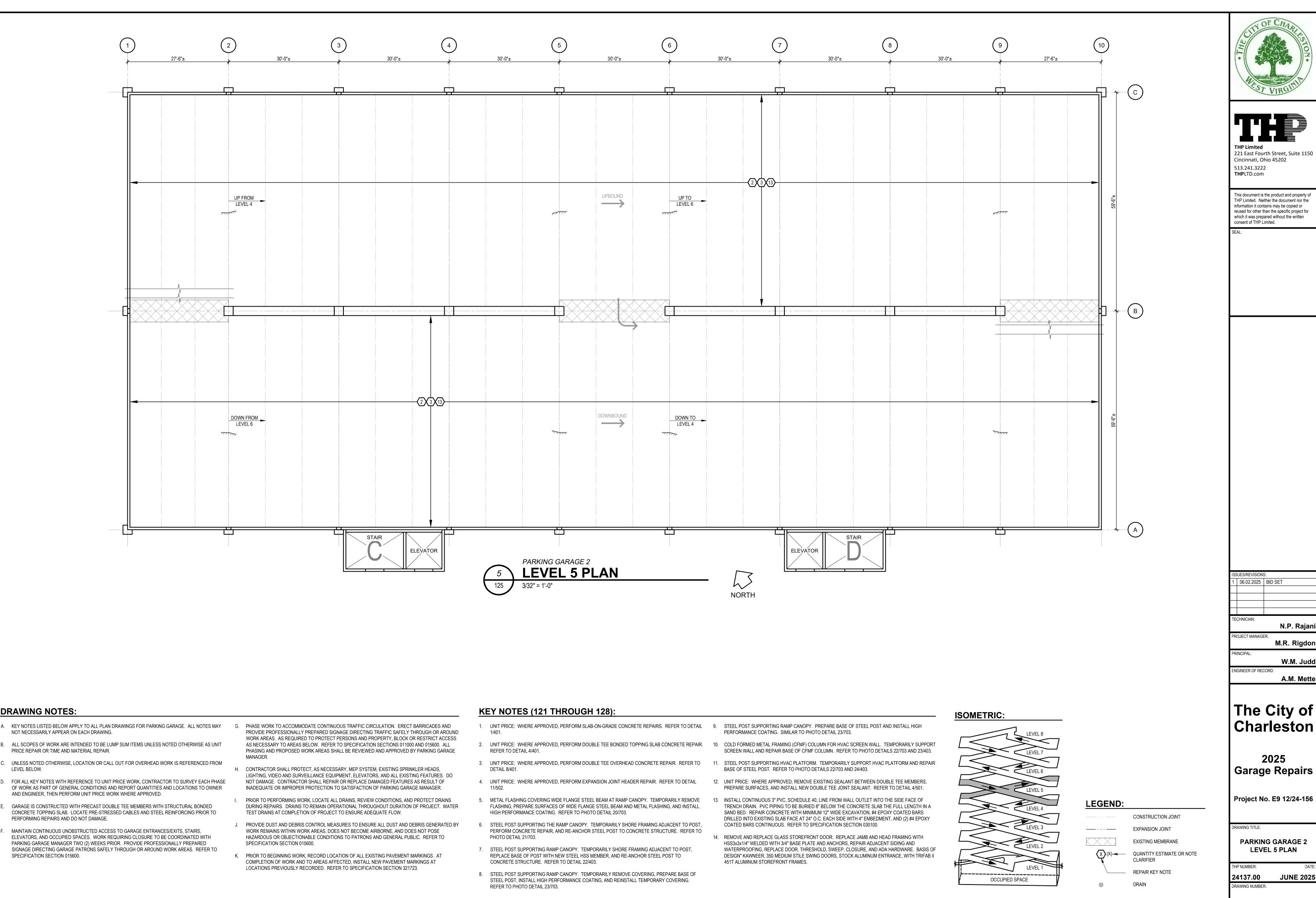




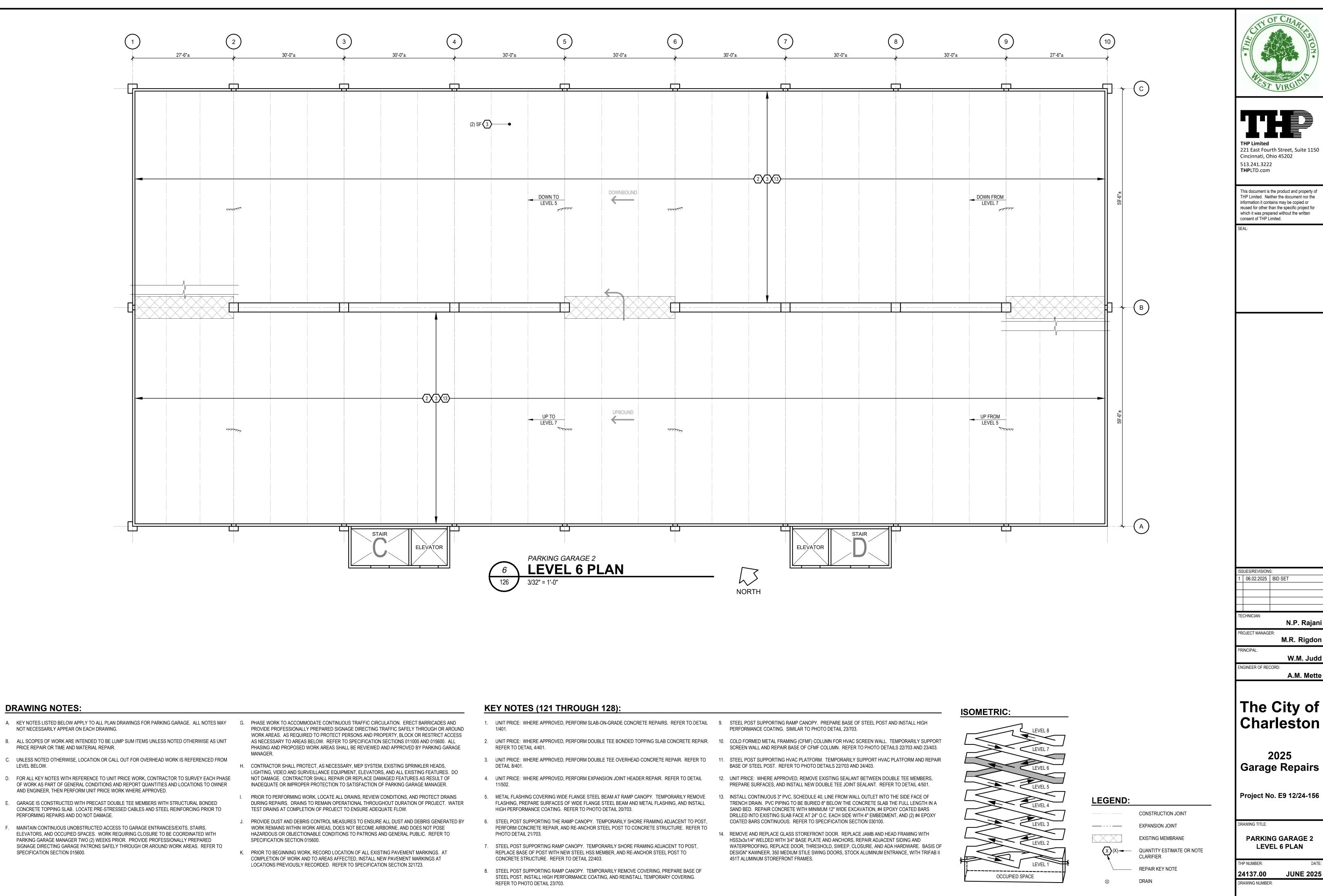
- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS,



- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS,

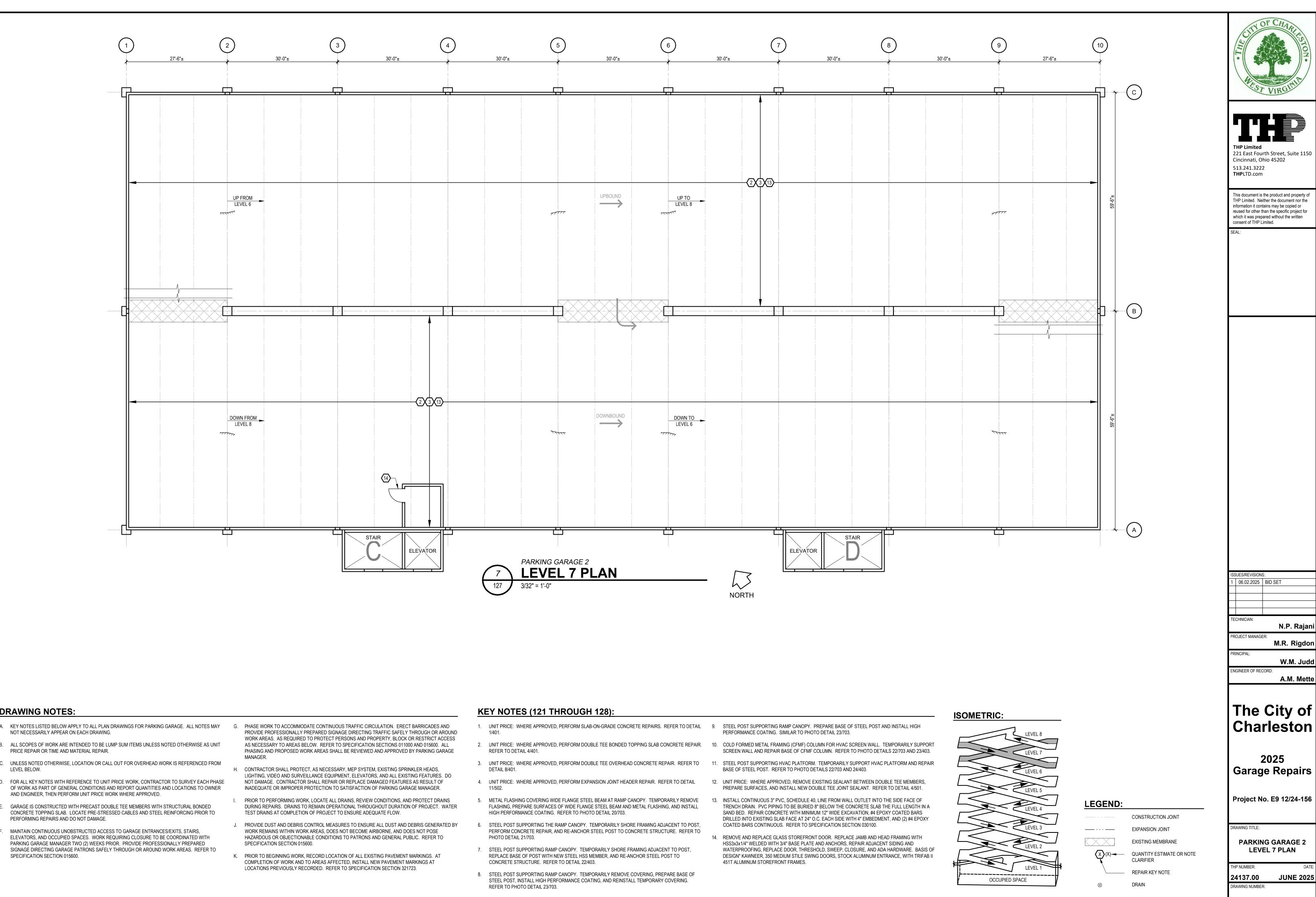


- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY NOT NECESSARILY APPEAR ON EACH DRAWING.
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER
- CONCRETE TOPPING SLAB. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED

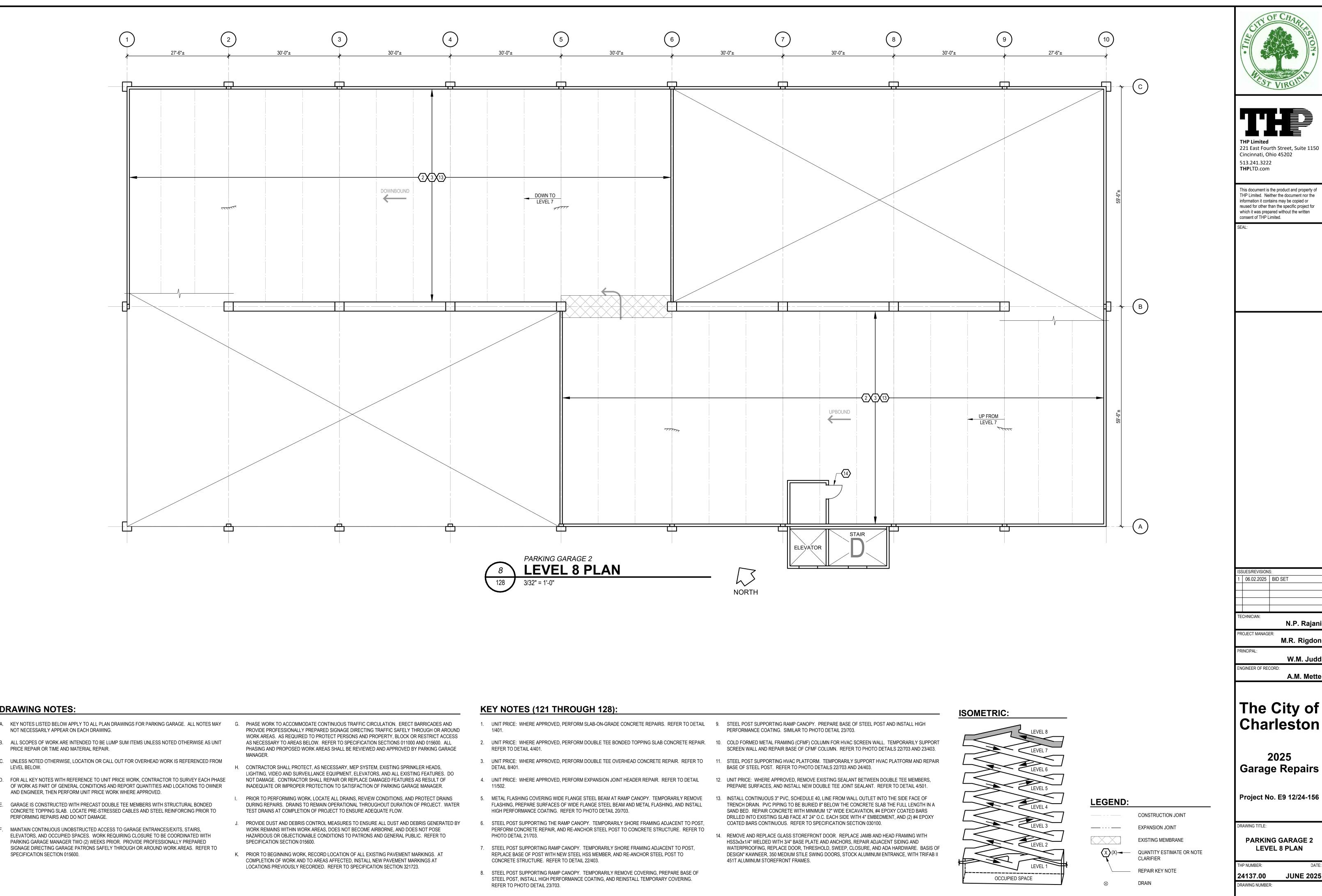


- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM

- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS,



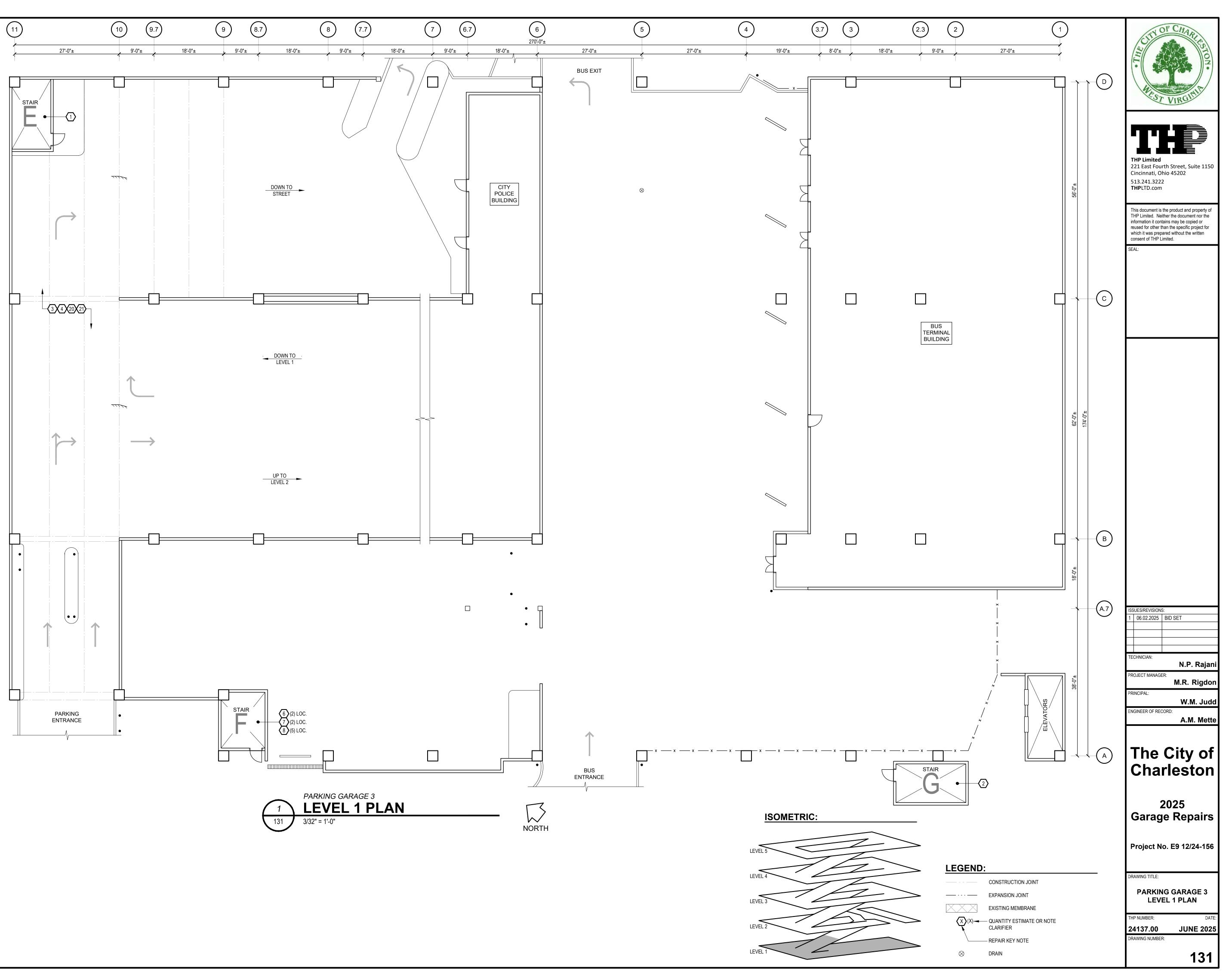
- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS,



- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY NOT NECESSARILY APPEAR ON EACH DRAWING.
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- CONCRETE TOPPING SLAB. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.

- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY NOT NECESSARILY APPEAR ON EACH DRAWING.B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS
- NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- E. GARAGE IS CONSTRUCTED WITH PRECAST DOUBLE TEE MEMBERS WITH STRUCTURAL BONDED CONCRETE TOPPING SLAB. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.
- G. PHASE WORK TO ACCOMMODATE CONTINUOUS TRAFFIC CIRCULATION. ERECT BARRICADES AND PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING TRAFFIC SAFELY THROUGH OR AROUND WORK AREAS. AS REQUIRED TO PROTECT PERSONS AND PROPERTY, BLOCK OR RESTRICT ACCESS AS NECESSARY TO AREAS BELOW. REFER TO SPECIFICATION SECTIONS 011000 AND 015600. ALL PHASING AND PROPOSED WORK AREAS SHALL BE REVIEWED AND APPROVED BY PARKING GARAGE MANAGER.
- H. CONTRACTOR SHALL PROTECT, AS NECESSARY, MEP SYSTEM, EXISTING SPRINKLER HEADS, LIGHTING, VIDEO AND SURVEILLANCE EQUIPMENT, ELEVATORS, AND ALL EXISTING FEATURES. DO NOT DAMAGE. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED FEATURES AS RESULT OF INADEQUATE OR IMPROPER PROTECTION TO SATISFACTION OF PARKING GARAGE MANAGER.
- I. PRIOR TO PERFORMING WORK, LOCATE ALL DRAINS, REVIEW CONDITIONS, AND PROTECT DRAINS DURING REPAIRS. DRAINS TO REMAIN OPERATIONAL THROUGHOUT DURATION OF PROJECT. WATER TEST DRAINS AT COMPLETION OF PROJECT TO ENSURE ADEQUATE FLOW.
- J. PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY WORK REMAINS WITHIN WORK AREAS, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS TO PATRONS AND GENERAL PUBLIC. REFER TO SPECIFICATION SECTION 015600.
- K. PRIOR TO BEGINNING WORK, RECORD LOCATION OF ALL EXISTING PAVEMENT MARKINGS. AT COMPLETION OF WORK AND TO AREAS AFFECTED, INSTALL NEW PAVEMENT MARKINGS AT LOCATIONS PREVIOUSLY RECORDED. REFER TO SPECIFICATION SECTION 321723.

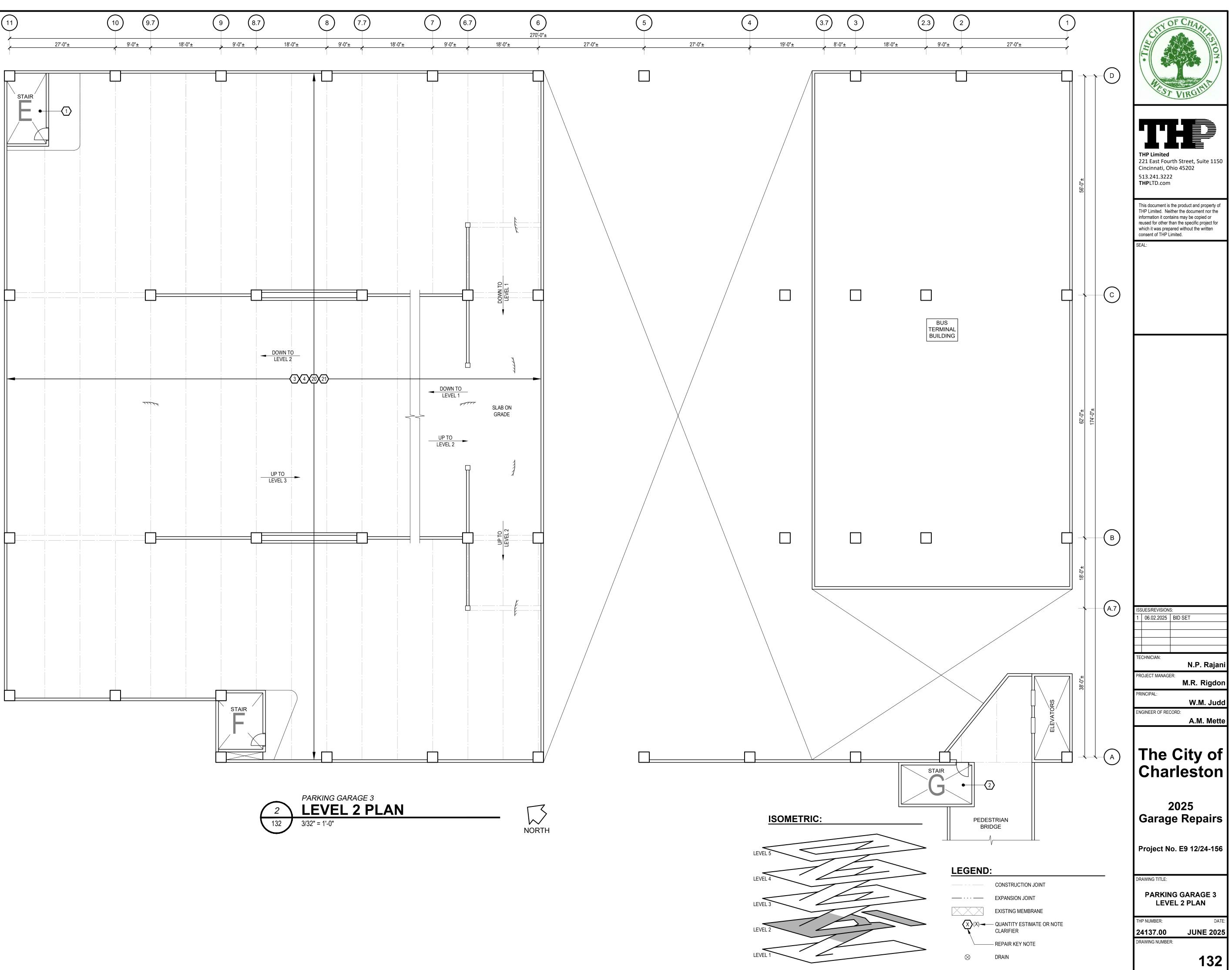
- 1. STAIR TOWER E. REFER TO DRAWING 201 FOR REPAIRS.
- 2. STAIR TOWER G. REFER TO DRAWING 202 FOR REPAIRS.
- 3. UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE BONDED TOPPING SLAB CONCRETE REPAIR. REFER TO DETAIL 4/401.
- 4. UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE OVERHEAD CONCRETE REPAIR. REFER TO DETAIL 8/401.
- 5. UNIT PRICE: WHERE APPROVED, PERFORM CONCRETE EPOXY INJECTION. REFER TO SPECIFICATION SECTION 036423.
- 6. UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL CHANNEL SUPPORT BRACKET UNDER STAIR BEAM. REFER TO DETAIL 25/404.
- 7. UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL MODIFIED CHANNEL SUPPORT BRACKET UNDER STAIR BEAM. REFER TO DETAIL 26/404.
- 8. UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL ANGLE SUPPORT UNDER STRINGER. REFER TO DETAIL 27/404.
- 9. UNIT PRICE: WHERE APPROVED, INSTALL PEDESTRIAN BARRIER CABLE ADDITIONAL SUPPORT AT TOP OF WALL. REFER TO PHOTO DETAIL 16/702.
- 10. LOCATION OF LOOSE PEDESTRIAN BARRIER CABLE AT TOP OF WALL. PROVIDE NEW CABLE AND HARDWARE BETWEEN GALVANIZED BRACKETS. REFER TO PHOTO DETAIL 17/703.
- 11. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE A. REFER TO DETAIL 17/403.
- 12. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE B. REFER TO PHOTO DETAIL 18/703.
- 13. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE C. REFER TO PHOTO DETAIL 19/703.
- 14. EXISTING SHEAR CONNECTOR ANGLE. AT THE EXISTING ANCHOR,
- TIGHTEN NUTS AND FOUL THREADS. REPORT CONDITIONS TO ENGINEER.15. EXISTING SHEAR CONNECTOR ANGLE. INSTALL NEW GALVANIZED
- EXPANSION ANCHOR AND FOUL THREADS. REFER TO SPECIFICATION SECTION 051200.
- 16. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL STEEL STRUT BETWEEN DOUBLE TEE STEMS. REFER TO DETAIL 18/403.
- 17. BROKEN STEEL ROD BETWEEN CONCRETE WALL PANEL AND COLUMN. INSTALL NEW PLATE WITH THE EXISTING ROD AT THE EXTERIOR FACE OF THE WALL INTO COLUMN. REFER TO PHOTO DETAIL 15/702.
- EXISTING JOINT BETWEEN DOUBLE TEE MEMBERS. REMOVE MATERIAL, PREPARE SURFACES, AND INSTALL COMPRESSIBLE JOINT WITH FIELD APPLIED SILICONE CAP. REFER TO DETAIL 12/502.
- 19. EXISTING JOINT BETWEEN STAIR TOWER WALL AND GARAGE. REMOVE MATERIAL, PREPARE SURFACES, AND INSTALL COMPRESSIBLE JOINT WITH AN INTEGRAL SILICONE CAP. REFER TO DETAIL 13/502.
- 20. UNIT PRICE: WHERE APPROVED, ROUT AND SEAL SLAB CRACK. REFER TO DETAIL 2/501.
- 21. UNIT PRICE: WHERE APPROVED, REMOVE EXISTING SEALANT BETWEEN DOUBLE TEE MEMBERS, PREPARE SURFACES, AND INSTALL NEW SEALANT. REFER TO DETAIL 4/501.
- 22. UNIT PRICE: WHERE APPROVED, PERFORM VERTICAL SURFACE CONCRETE REPAIR. REFER TO DETAIL 7/401.





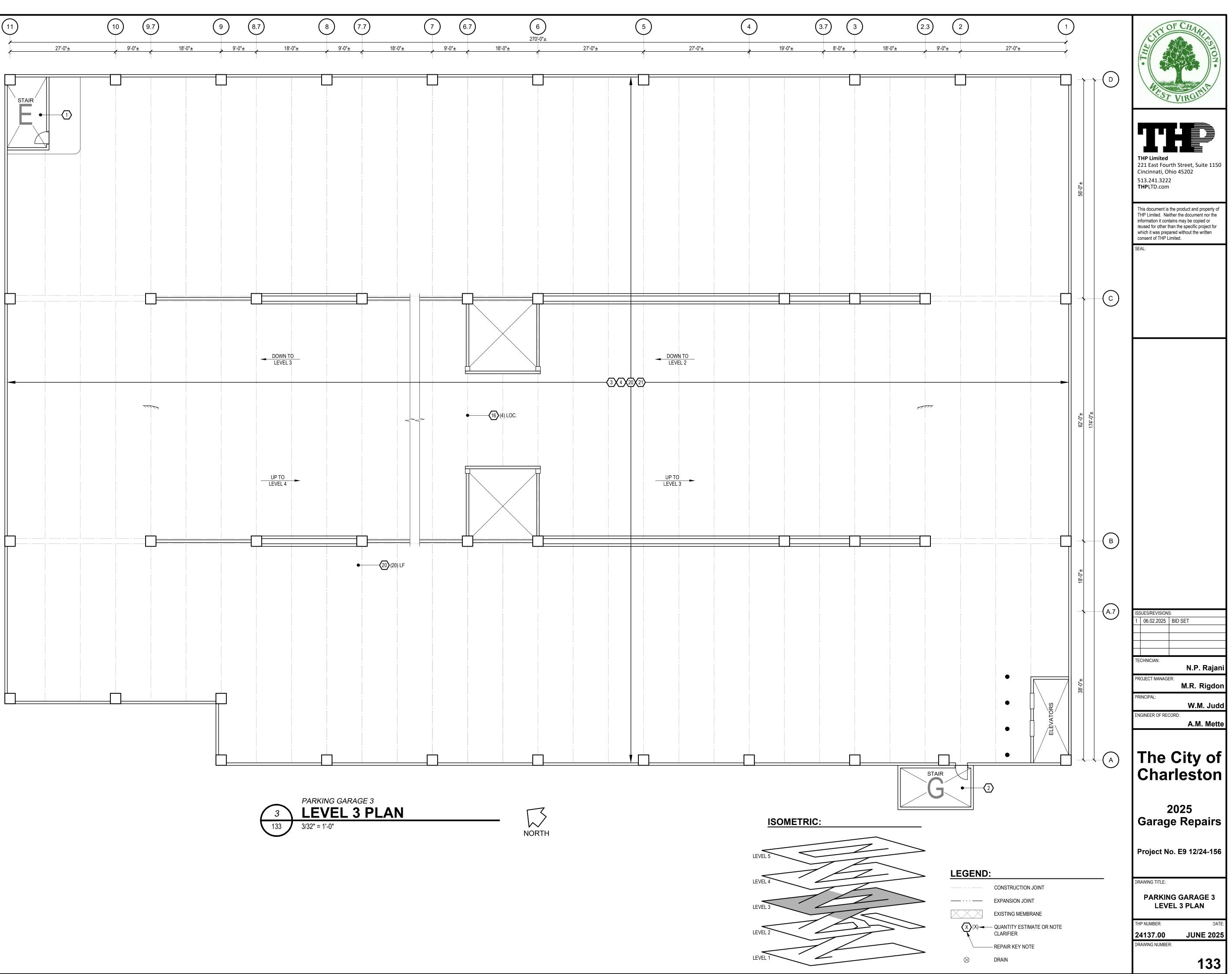
- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY NOT NECESSARILY APPEAR ON EACH DRAWING. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS
- NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK,
- CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- GARAGE IS CONSTRUCTED WITH PRECAST DOUBLE TEE MEMBERS WITH STRUCTURAL BONDED CONCRETE TOPPING SLAB. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.
- PHASE WORK TO ACCOMMODATE CONTINUOUS TRAFFIC CIRCULATION. ERECT BARRICADES AND PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING TRAFFIC SAFELY THROUGH OR AROUND WORK AREAS. AS REQUIRED TO PROTECT PERSONS AND PROPERTY, BLOCK OR RESTRICT ACCESS AS NECESSARY TO AREAS BELOW. REFER TO SPECIFICATION SECTIONS 011000 AND 015600. ALL PHASING AND PROPOSED WORK AREAS SHALL BE REVIEWED AND APPROVED BY PARKING GARAGE MANAGER.
- CONTRACTOR SHALL PROTECT, AS NECESSARY, MEP SYSTEM, EXISTING SPRINKLER HEADS, LIGHTING, VIDEO AND SURVEILLANCE EQUIPMENT, ELEVATORS, AND ALL EXISTING FEATURES. DO NOT DAMAGE. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED FEATURES AS RESULT OF INADEQUATE OR IMPROPER PROTECTION TO SATISFACTION OF PARKING GARAGE MANAGER.
- PRIOR TO PERFORMING WORK, LOCATE ALL DRAINS, REVIEW CONDITIONS, AND PROTECT DRAINS DURING REPAIRS. DRAINS TO REMAIN OPERATIONAL THROUGHOUT DURATION OF PROJECT. WATER TEST DRAINS AT COMPLETION OF PROJECT TO ENSURE ADEQUATE FLOW.
- PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY WORK REMAINS WITHIN WORK AREAS, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS TO PATRONS AND GENERAL PUBLIC. REFER TO SPECIFICATION SECTION 015600.
- PRIOR TO BEGINNING WORK, RECORD LOCATION OF ALL EXISTING PAVEMENT MARKINGS. AT COMPLETION OF WORK AND TO AREAS AFFECTED, INSTALL NEW PAVEMENT MARKINGS AT LOCATIONS PREVIOUSLY RECORDED. REFER TO SPECIFICATION SECTION 321723.

- . STAIR TOWER E. REFER TO DRAWING 201 FOR REPAIRS.
- 2. STAIR TOWER G. REFER TO DRAWING 202 FOR REPAIRS.
- UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE BONDED TOPPING SLAB CONCRETE REPAIR. REFER TO DETAIL 4/401.
- UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE OVERHEAD CONCRETE REPAIR. REFER TO DETAIL 8/401.
- UNIT PRICE: WHERE APPROVED, PERFORM CONCRETE EPOXY INJECTION. REFER TO SPECIFICATION SECTION 036423.
- UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL CHANNEL SUPPORT BRACKET UNDER STAIR BEAM. REFER TO DETAIL 25/404.
- UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL MODIFIED CHANNEL SUPPORT BRACKET UNDER STAIR BEAM. REFER TO DETAIL 26/404.
- UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL ANGLE SUPPORT UNDER STRINGER. REFER TO DETAIL 27/404.
- UNIT PRICE: WHERE APPROVED, INSTALL PEDESTRIAN BARRIER CABLE ADDITIONAL SUPPORT AT TOP OF WALL. REFER TO PHOTO DETAIL 16/702.
- LOCATION OF LOOSE PEDESTRIAN BARRIER CABLE AT TOP OF WALL. PROVIDE NEW CABLE AND HARDWARE BETWEEN GALVANIZED BRACKETS. REFER TO PHOTO DETAIL 17/703.
- UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE A. REFER TO DETAIL 17/403.
- 12. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE B. REFER TO PHOTO DETAIL 18/703.
- UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE C. REFER TO PHOTO DETAIL 19/703.
- 14. EXISTING SHEAR CONNECTOR ANGLE. AT THE EXISTING ANCHOR,
- TIGHTEN NUTS AND FOUL THREADS. REPORT CONDITIONS TO ENGINEER. EXISTING SHEAR CONNECTOR ANGLE. INSTALL NEW GALVANIZED
- EXPANSION ANCHOR AND FOUL THREADS. REFER TO SPECIFICATION SECTION 051200.
- 16. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL STEEL STRUT BETWEEN DOUBLE TEE STEMS. REFER TO DETAIL 18/403.
- BROKEN STEEL ROD BETWEEN CONCRETE WALL PANEL AND COLUMN. INSTALL NEW PLATE WITH THE EXISTING ROD AT THE EXTERIOR FACE OF THE WALL INTO COLUMN. REFER TO PHOTO DETAIL 15/702.
- . EXISTING JOINT BETWEEN DOUBLE TEE MEMBERS. REMOVE MATERIAL, PREPARE SURFACES, AND INSTALL COMPRESSIBLE JOINT WITH FIELD APPLIED SILICONE CAP. REFER TO DETAIL 12/502.
- 19. EXISTING JOINT BETWEEN STAIR TOWER WALL AND GARAGE. REMOVE MATERIAL, PREPARE SURFACES, AND INSTALL COMPRESSIBLE JOINT WITH AN INTEGRAL SILICONE CAP. REFER TO DETAIL 13/502.
- 20. UNIT PRICE: WHERE APPROVED, ROUT AND SEAL SLAB CRACK. REFER TO DETAIL 2/501.
- 21. UNIT PRICE: WHERE APPROVED, REMOVE EXISTING SEALANT BETWEEN DOUBLE TEE MEMBERS, PREPARE SURFACES, AND INSTALL NEW SEALANT. REFER TO DETAIL 4/501.
- 22. UNIT PRICE: WHERE APPROVED, PERFORM VERTICAL SURFACE CONCRETE REPAIR. REFER TO DETAIL 7/401.



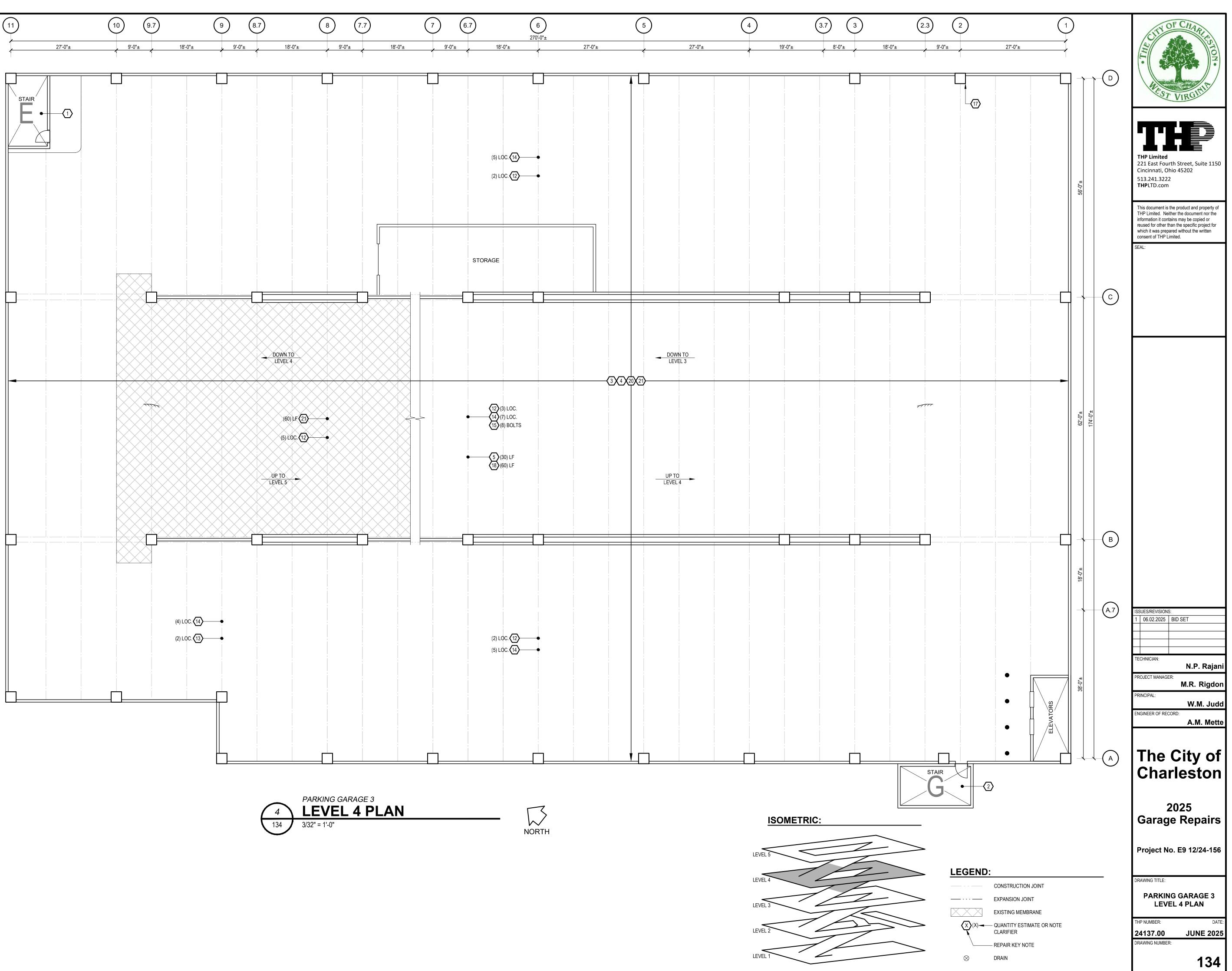
- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY NOT NECESSARILY APPEAR ON EACH DRAWING. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS
- NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- GARAGE IS CONSTRUCTED WITH PRECAST DOUBLE TEE MEMBERS WITH STRUCTURAL BONDED CONCRETE TOPPING SLAB. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.
- PHASE WORK TO ACCOMMODATE CONTINUOUS TRAFFIC CIRCULATION. ERECT BARRICADES AND PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING TRAFFIC SAFELY THROUGH OR AROUND WORK AREAS. AS REQUIRED TO PROTECT PERSONS AND PROPERTY, BLOCK OR RESTRICT ACCESS AS NECESSARY TO AREAS BELOW. REFER TO SPECIFICATION SECTIONS 011000 AND 015600. ALL PHASING AND PROPOSED WORK AREAS SHALL BE REVIEWED AND APPROVED BY PARKING GARAGE MANAGER.
- CONTRACTOR SHALL PROTECT, AS NECESSARY, MEP SYSTEM, EXISTING SPRINKLER HEADS, LIGHTING, VIDEO AND SURVEILLANCE EQUIPMENT, ELEVATORS, AND ALL EXISTING FEATURES. DO NOT DAMAGE. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED FEATURES AS RESULT OF INADEQUATE OR IMPROPER PROTECTION TO SATISFACTION OF PARKING GARAGE MANAGER.
- PRIOR TO PERFORMING WORK, LOCATE ALL DRAINS, REVIEW CONDITIONS, AND PROTECT DRAINS DURING REPAIRS. DRAINS TO REMAIN OPERATIONAL THROUGHOUT DURATION OF PROJECT. WATER TEST DRAINS AT COMPLETION OF PROJECT TO ENSURE ADEQUATE FLOW.
- PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY WORK REMAINS WITHIN WORK AREAS, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS TO PATRONS AND GENERAL PUBLIC. REFER TO SPECIFICATION SECTION 015600.
- PRIOR TO BEGINNING WORK, RECORD LOCATION OF ALL EXISTING PAVEMENT MARKINGS. AT COMPLETION OF WORK AND TO AREAS AFFECTED, INSTALL NEW PAVEMENT MARKINGS AT LOCATIONS PREVIOUSLY RECORDED. REFER TO SPECIFICATION SECTION 321723.

- STAIR TOWER E. REFER TO DRAWING 201 FOR REPAIRS.
- 2. STAIR TOWER G. REFER TO DRAWING 202 FOR REPAIRS.
- UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE BONDED TOPPING SLAB CONCRETE REPAIR. REFER TO DETAIL 4/401.
- UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE OVERHEAD CONCRETE REPAIR. REFER TO DETAIL 8/401.
- UNIT PRICE: WHERE APPROVED, PERFORM CONCRETE EPOXY INJECTION. REFER TO SPECIFICATION SECTION 036423.
- UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL CHANNEL SUPPORT BRACKET UNDER STAIR BEAM. REFER TO DETAIL 25/404.
- UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL MODIFIED CHANNEL SUPPORT BRACKET UNDER STAIR BEAM. REFER TO DETAIL 26/404.
- UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL ANGLE SUPPORT UNDER STRINGER. REFER TO DETAIL 27/404.
- UNIT PRICE: WHERE APPROVED, INSTALL PEDESTRIAN BARRIER CABLE ADDITIONAL SUPPORT AT TOP OF WALL. REFER TO PHOTO DETAIL 16/702.
- . LOCATION OF LOOSE PEDESTRIAN BARRIER CABLE AT TOP OF WALL. PROVIDE NEW CABLE AND HARDWARE BETWEEN GALVANIZED BRACKETS. REFER TO PHOTO DETAIL 17/703.
- UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE A. REFER TO DETAIL 17/403.
- 12. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE B. REFER TO PHOTO DETAIL 18/703.
- 13. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE C. REFER TO PHOTO DETAIL 19/703.
- 14. EXISTING SHEAR CONNECTOR ANGLE. AT THE EXISTING ANCHOR,
- TIGHTEN NUTS AND FOUL THREADS. REPORT CONDITIONS TO ENGINEER. 5. EXISTING SHEAR CONNECTOR ANGLE. INSTALL NEW GALVANIZED
- EXPANSION ANCHOR AND FOUL THREADS. REFER TO SPECIFICATION SECTION 051200.
- 16. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL STEEL STRUT BETWEEN DOUBLE TEE STEMS. REFER TO DETAIL 18/403.
- BROKEN STEEL ROD BETWEEN CONCRETE WALL PANEL AND COLUMN. INSTALL NEW PLATE WITH THE EXISTING ROD AT THE EXTERIOR FACE OF THE WALL INTO COLUMN. REFER TO PHOTO DETAIL 15/702.
- 18. EXISTING JOINT BETWEEN DOUBLE TEE MEMBERS. REMOVE MATERIAL, PREPARE SURFACES, AND INSTALL COMPRESSIBLE JOINT WITH FIELD APPLIED SILICONE CAP. REFER TO DETAIL 12/502.
- 19. EXISTING JOINT BETWEEN STAIR TOWER WALL AND GARAGE. REMOVE MATERIAL, PREPARE SURFACES, AND INSTALL COMPRESSIBLE JOINT WITH AN INTEGRAL SILICONE CAP. REFER TO DETAIL 13/502.
- 20. UNIT PRICE: WHERE APPROVED, ROUT AND SEAL SLAB CRACK. REFER TO DETAIL 2/501.
- 21. UNIT PRICE: WHERE APPROVED, REMOVE EXISTING SEALANT BETWEEN DOUBLE TEE MEMBERS, PREPARE SURFACES, AND INSTALL NEW SEALANT. REFER TO DETAIL 4/501.
- 22. UNIT PRICE: WHERE APPROVED, PERFORM VERTICAL SURFACE CONCRETE REPAIR. REFER TO DETAIL 7/401.



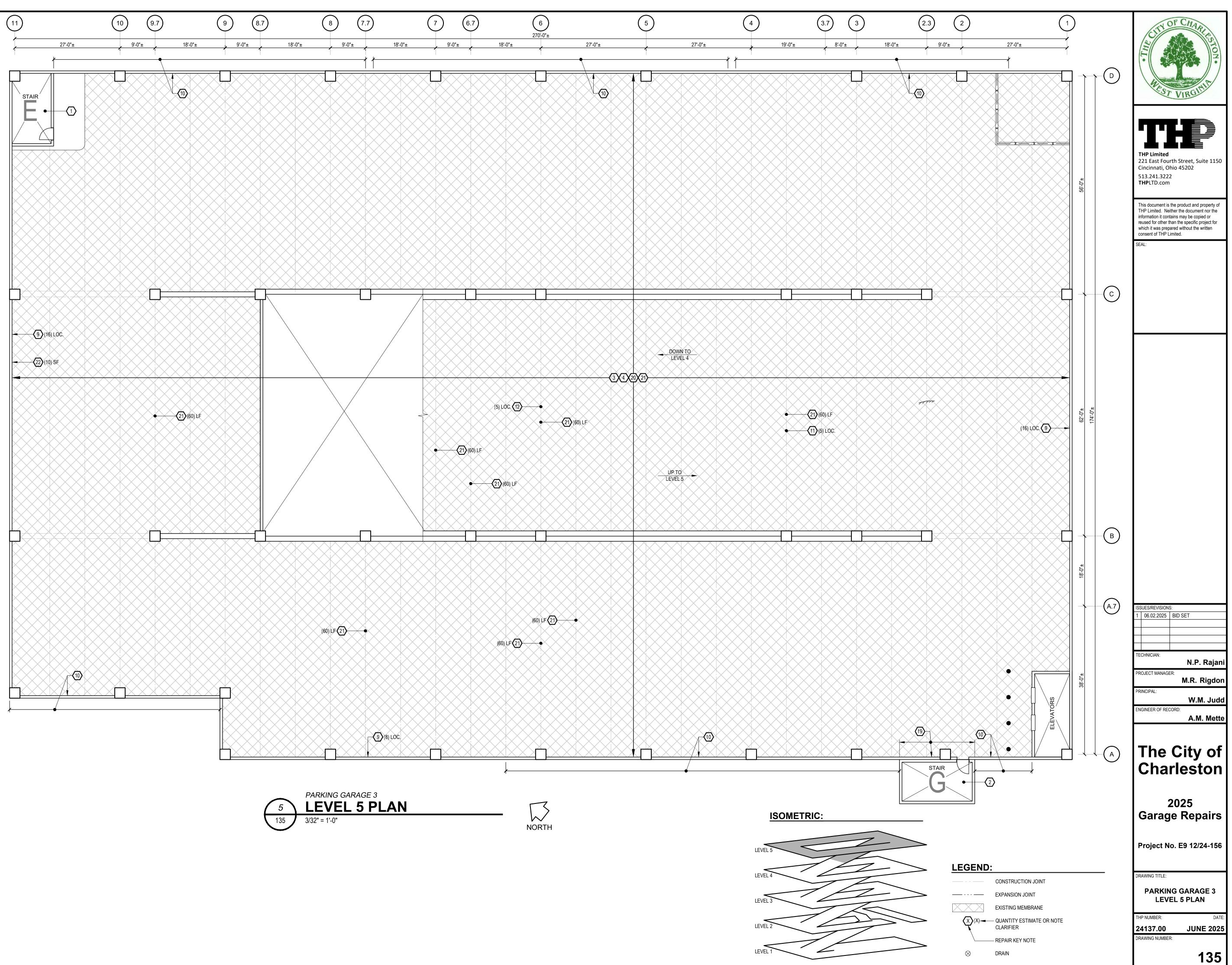
- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY NOT NECESSARILY APPEAR ON EACH DRAWING. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS
- NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- GARAGE IS CONSTRUCTED WITH PRECAST DOUBLE TEE MEMBERS WITH STRUCTURAL BONDED CONCRETE TOPPING SLAB. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.
- PHASE WORK TO ACCOMMODATE CONTINUOUS TRAFFIC CIRCULATION. ERECT BARRICADES AND PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING TRAFFIC SAFELY THROUGH OR AROUND WORK AREAS. AS REQUIRED TO PROTECT PERSONS AND PROPERTY, BLOCK OR RESTRICT ACCESS AS NECESSARY TO AREAS BELOW. REFER TO SPECIFICATION SECTIONS 011000 AND 015600. ALL PHASING AND PROPOSED WORK AREAS SHALL BE REVIEWED AND APPROVED BY PARKING GARAGE MANAGER.
- CONTRACTOR SHALL PROTECT, AS NECESSARY, MEP SYSTEM, EXISTING SPRINKLER HEADS, LIGHTING, VIDEO AND SURVEILLANCE EQUIPMENT, ELEVATORS, AND ALL EXISTING FEATURES. DO NOT DAMAGE. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED FEATURES AS RESULT OF INADEQUATE OR IMPROPER PROTECTION TO SATISFACTION OF PARKING GARAGE MANAGER.
- PRIOR TO PERFORMING WORK, LOCATE ALL DRAINS, REVIEW CONDITIONS, AND PROTECT DRAINS DURING REPAIRS. DRAINS TO REMAIN OPERATIONAL THROUGHOUT DURATION OF PROJECT. WATER TEST DRAINS AT COMPLETION OF PROJECT TO ENSURE ADEQUATE FLOW.
- PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY WORK REMAINS WITHIN WORK AREAS, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS TO PATRONS AND GENERAL PUBLIC. REFER TO SPECIFICATION SECTION 015600.
- PRIOR TO BEGINNING WORK, RECORD LOCATION OF ALL EXISTING PAVEMENT MARKINGS. AT COMPLETION OF WORK AND TO AREAS AFFECTED, INSTALL NEW PAVEMENT MARKINGS AT LOCATIONS PREVIOUSLY RECORDED. REFER TO SPECIFICATION SECTION 321723.

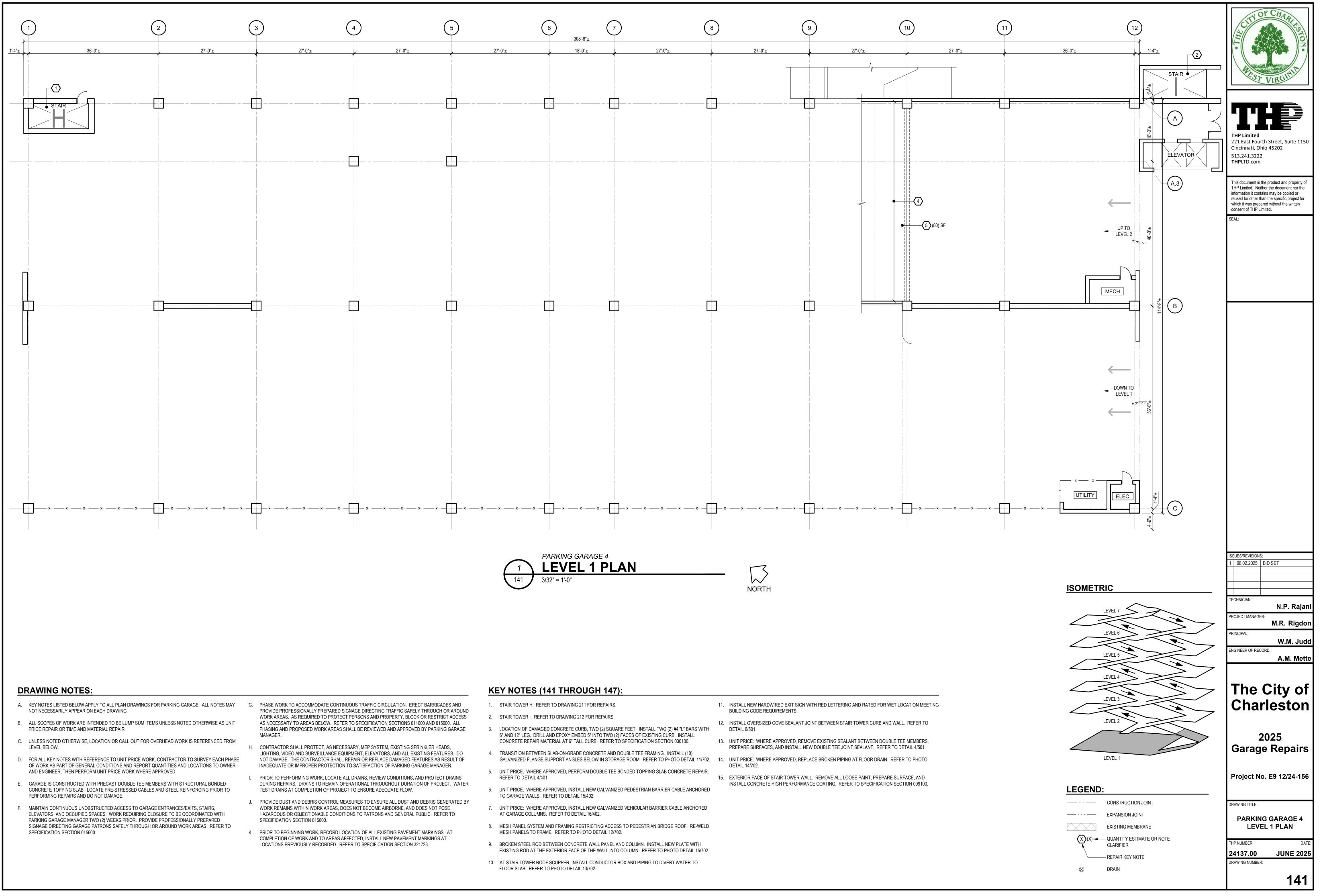
- . STAIR TOWER E. REFER TO DRAWING 201 FOR REPAIRS.
- 2. STAIR TOWER G. REFER TO DRAWING 202 FOR REPAIRS.
- UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE BONDED TOPPING SLAB CONCRETE REPAIR. REFER TO DETAIL 4/401.
- UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE OVERHEAD CONCRETE REPAIR. REFER TO DETAIL 8/401.
- UNIT PRICE: WHERE APPROVED, PERFORM CONCRETE EPOXY INJECTION. REFER TO SPECIFICATION SECTION 036423.
- UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL CHANNEL SUPPORT BRACKET UNDER STAIR BEAM. REFER TO DETAIL 25/404.
- UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL MODIFIED CHANNEL SUPPORT BRACKET UNDER STAIR BEAM. REFER TO DETAIL 26/404.
- UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL ANGLE SUPPORT UNDER STRINGER. REFER TO DETAIL 27/404.
- UNIT PRICE: WHERE APPROVED, INSTALL PEDESTRIAN BARRIER CABLE ADDITIONAL SUPPORT AT TOP OF WALL. REFER TO PHOTO DETAIL 16/702.
- . LOCATION OF LOOSE PEDESTRIAN BARRIER CABLE AT TOP OF WALL. PROVIDE NEW CABLE AND HARDWARE BETWEEN GALVANIZED BRACKETS. REFER TO PHOTO DETAIL 17/703.
- UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE A. REFER TO DETAIL 17/403.
- 12. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE B. REFER TO PHOTO DETAIL 18/703.
- 13. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE C. REFER TO PHOTO DETAIL 19/703.
- 14. EXISTING SHEAR CONNECTOR ANGLE. AT THE EXISTING ANCHOR,
- TIGHTEN NUTS AND FOUL THREADS. REPORT CONDITIONS TO ENGINEER. 5. EXISTING SHEAR CONNECTOR ANGLE. INSTALL NEW GALVANIZED
- EXPANSION ANCHOR AND FOUL THREADS. REFER TO SPECIFICATION SECTION 051200.
- 16. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL STEEL STRUT BETWEEN DOUBLE TEE STEMS. REFER TO DETAIL 18/403.
- BROKEN STEEL ROD BETWEEN CONCRETE WALL PANEL AND COLUMN. INSTALL NEW PLATE WITH THE EXISTING ROD AT THE EXTERIOR FACE OF THE WALL INTO COLUMN. REFER TO PHOTO DETAIL 15/702.
- 18. EXISTING JOINT BETWEEN DOUBLE TEE MEMBERS. REMOVE MATERIAL, PREPARE SURFACES, AND INSTALL COMPRESSIBLE JOINT WITH FIELD APPLIED SILICONE CAP. REFER TO DETAIL 12/502.
- 19. EXISTING JOINT BETWEEN STAIR TOWER WALL AND GARAGE. REMOVE MATERIAL, PREPARE SURFACES, AND INSTALL COMPRESSIBLE JOINT WITH AN INTEGRAL SILICONE CAP. REFER TO DETAIL 13/502.
- 20. UNIT PRICE: WHERE APPROVED, ROUT AND SEAL SLAB CRACK. REFER TO DETAIL 2/501.
- 21. UNIT PRICE: WHERE APPROVED, REMOVE EXISTING SEALANT BETWEEN DOUBLE TEE MEMBERS, PREPARE SURFACES, AND INSTALL NEW SEALANT. REFER TO DETAIL 4/501.
- 22. UNIT PRICE: WHERE APPROVED, PERFORM VERTICAL SURFACE CONCRETE REPAIR. REFER TO DETAIL 7/401.

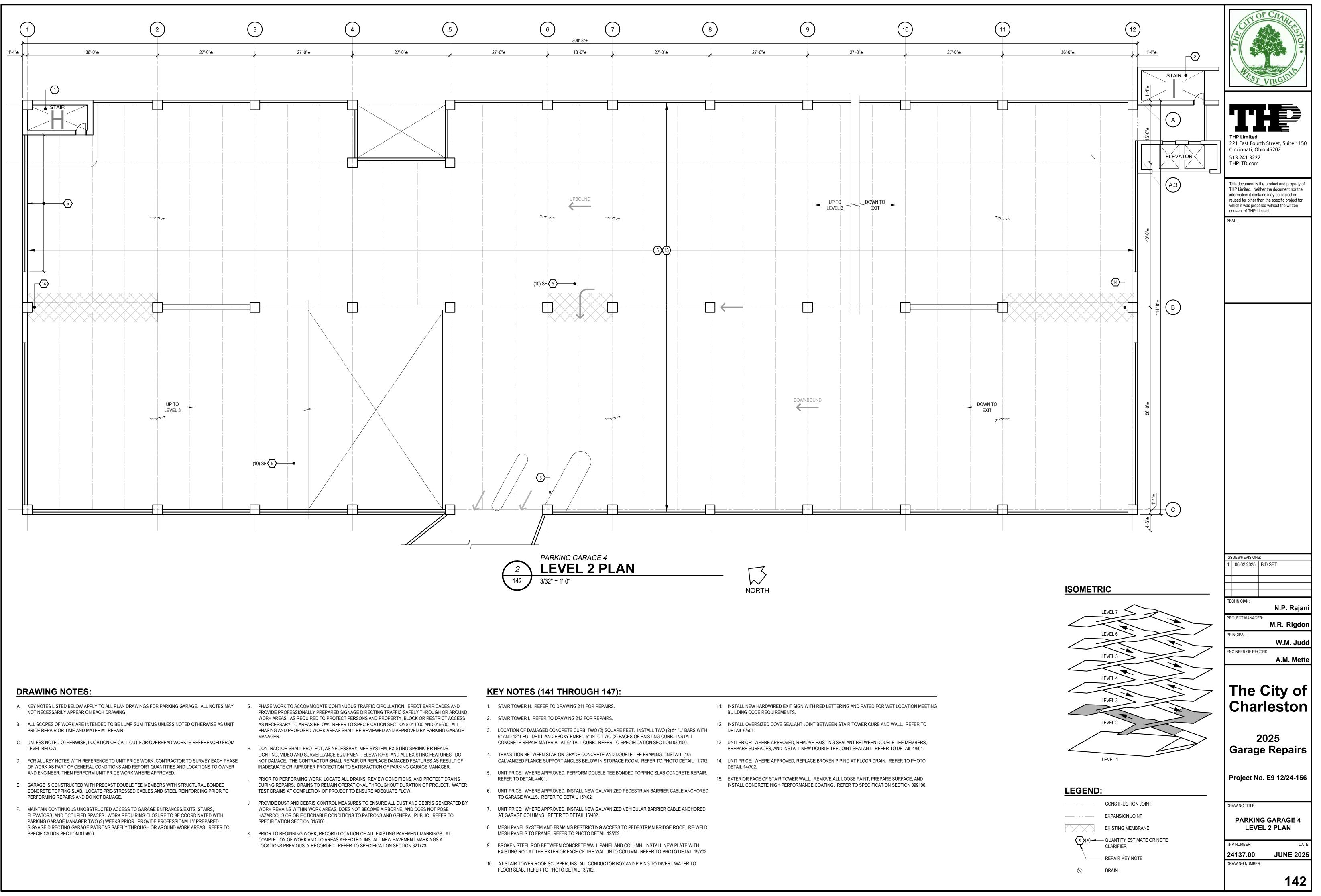


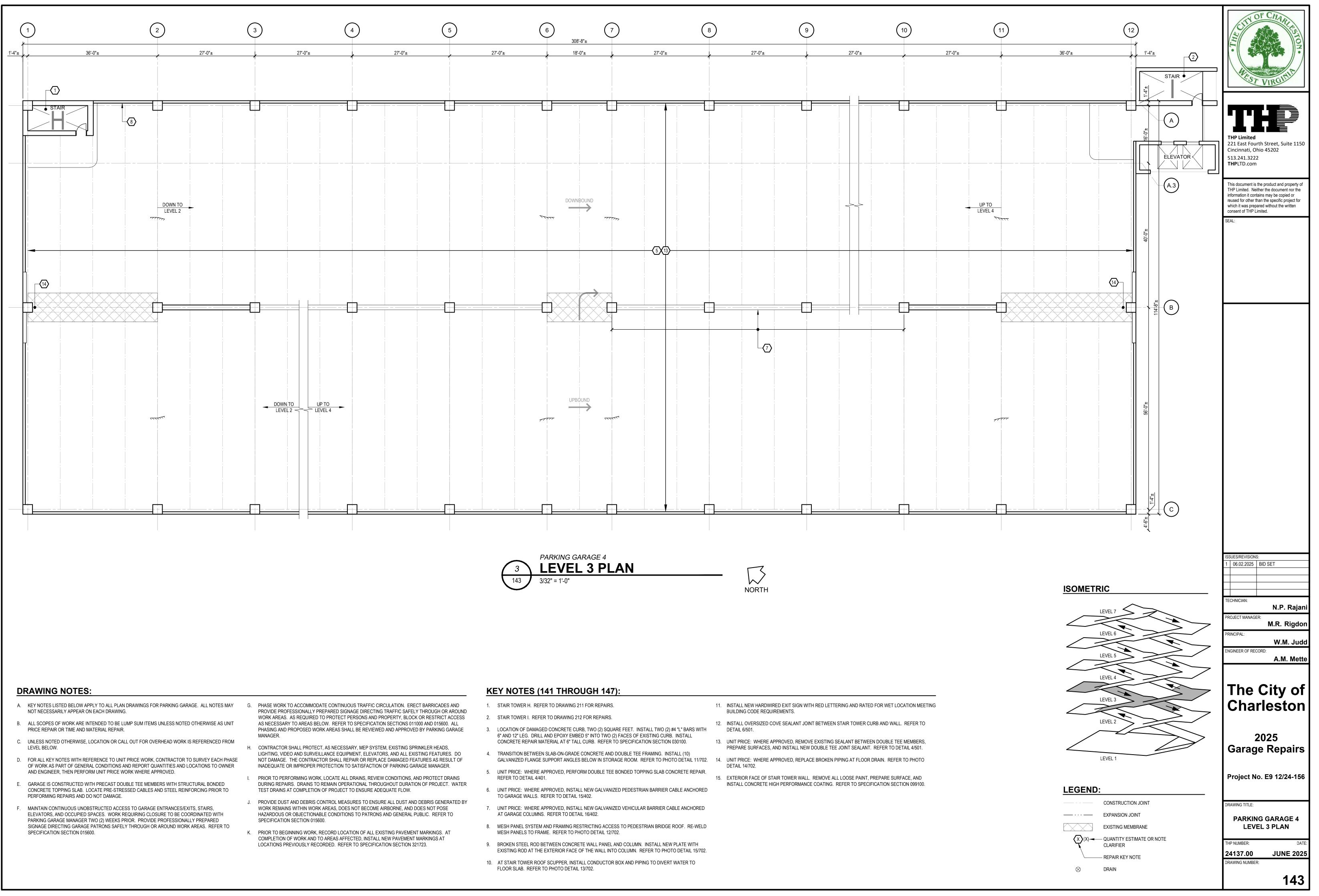
- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY NOT NECESSARILY APPEAR ON EACH DRAWING. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS
- NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- GARAGE IS CONSTRUCTED WITH PRECAST DOUBLE TEE MEMBERS WITH STRUCTURAL BONDED CONCRETE TOPPING SLAB. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.
- PHASE WORK TO ACCOMMODATE CONTINUOUS TRAFFIC CIRCULATION. ERECT BARRICADES AND PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING TRAFFIC SAFELY THROUGH OR AROUND WORK AREAS. AS REQUIRED TO PROTECT PERSONS AND PROPERTY, BLOCK OR RESTRICT ACCESS AS NECESSARY TO AREAS BELOW. REFER TO SPECIFICATION SECTIONS 011000 AND 015600. ALL PHASING AND PROPOSED WORK AREAS SHALL BE REVIEWED AND APPROVED BY PARKING GARAGE MANAGER.
- CONTRACTOR SHALL PROTECT, AS NECESSARY, MEP SYSTEM, EXISTING SPRINKLER HEADS, LIGHTING, VIDEO AND SURVEILLANCE EQUIPMENT, ELEVATORS, AND ALL EXISTING FEATURES. DO NOT DAMAGE. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED FEATURES AS RESULT OF INADEQUATE OR IMPROPER PROTECTION TO SATISFACTION OF PARKING GARAGE MANAGER.
- PRIOR TO PERFORMING WORK, LOCATE ALL DRAINS, REVIEW CONDITIONS, AND PROTECT DRAINS DURING REPAIRS. DRAINS TO REMAIN OPERATIONAL THROUGHOUT DURATION OF PROJECT. WATER TEST DRAINS AT COMPLETION OF PROJECT TO ENSURE ADEQUATE FLOW.
- PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY WORK REMAINS WITHIN WORK AREAS, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS TO PATRONS AND GENERAL PUBLIC. REFER TO SPECIFICATION SECTION 015600.
- PRIOR TO BEGINNING WORK, RECORD LOCATION OF ALL EXISTING PAVEMENT MARKINGS. AT COMPLETION OF WORK AND TO AREAS AFFECTED, INSTALL NEW PAVEMENT MARKINGS AT LOCATIONS PREVIOUSLY RECORDED. REFER TO SPECIFICATION SECTION 321723.

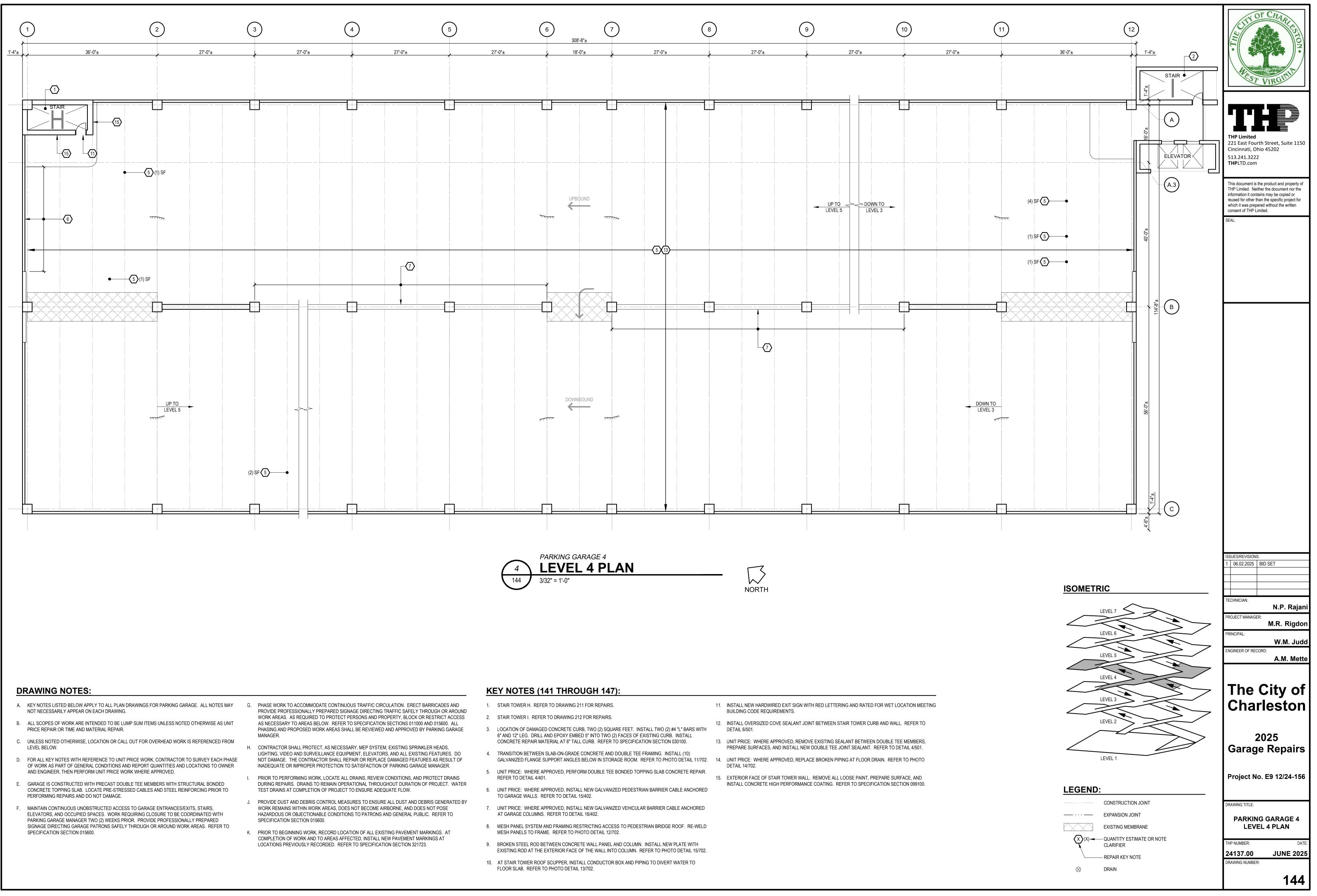
- 1. STAIR TOWER E. REFER TO DRAWING 201 FOR REPAIRS.
- 2. STAIR TOWER G. REFER TO DRAWING 202 FOR REPAIRS.
- UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE BONDED TOPPING SLAB CONCRETE REPAIR. REFER TO DETAIL 4/401.
- UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE OVERHEAD CONCRETE REPAIR. REFER TO DETAIL 8/401.
- UNIT PRICE: WHERE APPROVED, PERFORM CONCRETE EPOXY INJECTION. REFER TO SPECIFICATION SECTION 036423.
- UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL CHANNEL SUPPORT BRACKET UNDER STAIR BEAM. REFER TO DETAIL 25/404.
- UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL MODIFIED CHANNEL SUPPORT BRACKET UNDER STAIR BEAM. REFER TO DETAIL 26/404.
- UNIT PRICE: WHERE APPROVED AT STAIR F, INSTALL ANGLE SUPPORT UNDER STRINGER. REFER TO DETAIL 27/404.
- UNIT PRICE: WHERE APPROVED, INSTALL PEDESTRIAN BARRIER CABLE ADDITIONAL SUPPORT AT TOP OF WALL. REFER TO PHOTO DETAIL 16/702.
-). LOCATION OF LOOSE PEDESTRIAN BARRIER CABLE AT TOP OF WALL. PROVIDE NEW CABLE AND HARDWARE BETWEEN GALVANIZED BRACKETS. REFER TO PHOTO DETAIL 17/703.
- UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE A. REFER TO DETAIL 17/403.
- 12. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE B. REFER TO PHOTO DETAIL 18/703.
- 13. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL SHEAR
- CONNECTOR ANGLE CASE C. REFER TO PHOTO DETAIL 19/703.
- 14. EXISTING SHEAR CONNECTOR ANGLE. AT THE EXISTING ANCHOR, TIGHTEN NUTS AND FOUL THREADS. REPORT CONDITIONS TO ENGINEER.
- 15. EXISTING SHEAR CONNECTOR ANGLE. INSTALL NEW GALVANIZED EXPANSION ANCHOR AND FOUL THREADS. REFER TO SPECIFICATION SECTION 051200.
- 16. UNIT PRICE: WHERE APPROVED, INSTALL SUPPLEMENTAL STEEL STRUT BETWEEN DOUBLE TEE STEMS. REFER TO DETAIL 18/403.
- BROKEN STEEL ROD BETWEEN CONCRETE WALL PANEL AND COLUMN. INSTALL NEW PLATE WITH THE EXISTING ROD AT THE EXTERIOR FACE OF THE WALL INTO COLUMN. REFER TO PHOTO DETAIL 15/702.
- 18. EXISTING JOINT BETWEEN DOUBLE TEE MEMBERS. REMOVE MATERIAL, PREPARE SURFACES, AND INSTALL COMPRESSIBLE JOINT WITH FIELD APPLIED SILICONE CAP. REFER TO DETAIL 12/502.
- 19. EXISTING JOINT BETWEEN STAIR TOWER WALL AND GARAGE. REMOVE MATERIAL, PREPARE SURFACES, AND INSTALL COMPRESSIBLE JOINT WITH AN INTEGRAL SILICONE CAP. REFER TO DETAIL 13/502.
- 20. UNIT PRICE: WHERE APPROVED, ROUT AND SEAL SLAB CRACK. REFER TO DETAIL 2/501.
- 21. UNIT PRICE: WHERE APPROVED, REMOVE EXISTING SEALANT BETWEEN DOUBLE TEE MEMBERS, PREPARE SURFACES, AND INSTALL NEW SEALANT. REFER TO DETAIL 4/501.
- 22. UNIT PRICE: WHERE APPROVED, PERFORM VERTICAL SURFACE CONCRETE REPAIR. REFER TO DETAIL 7/401.

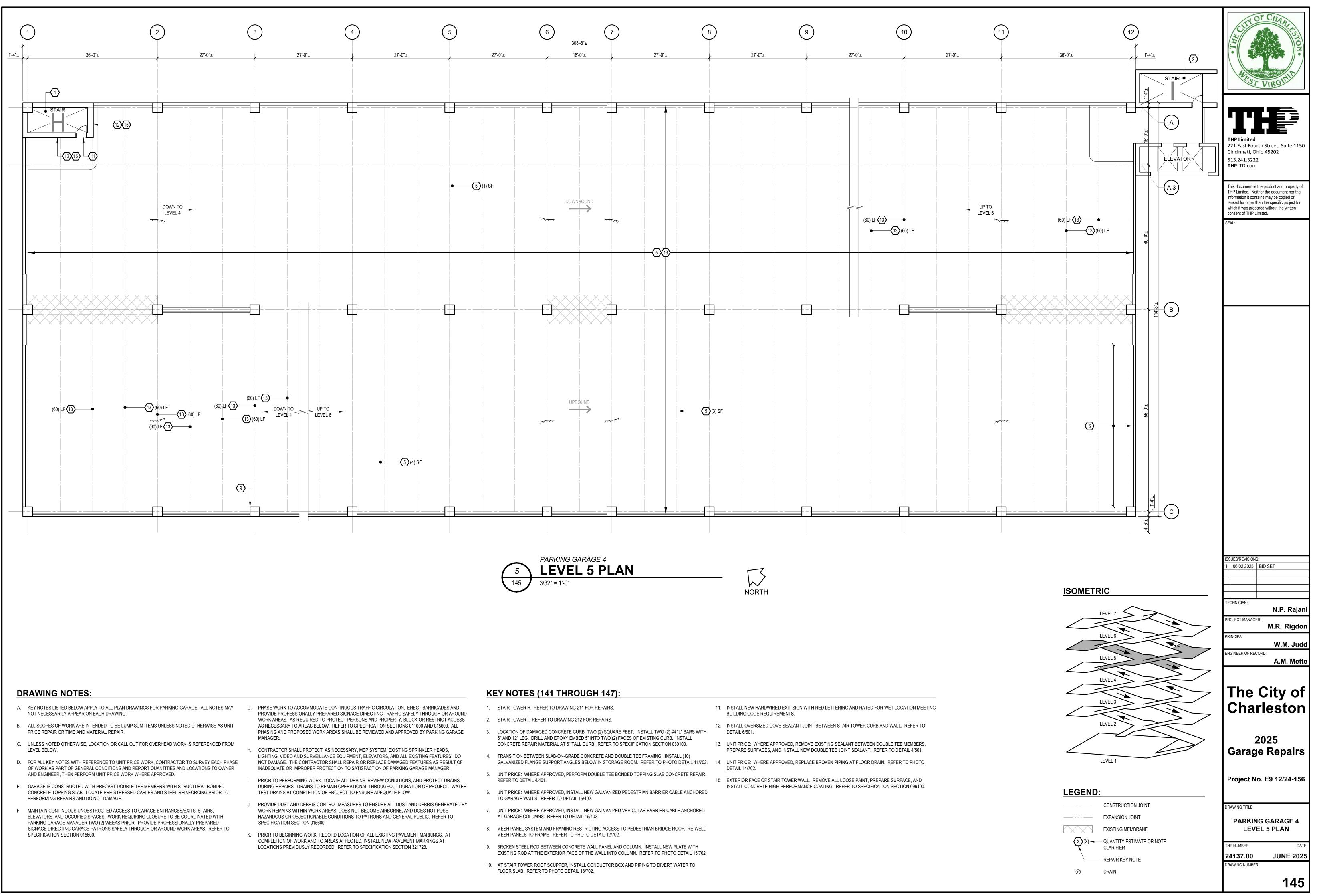


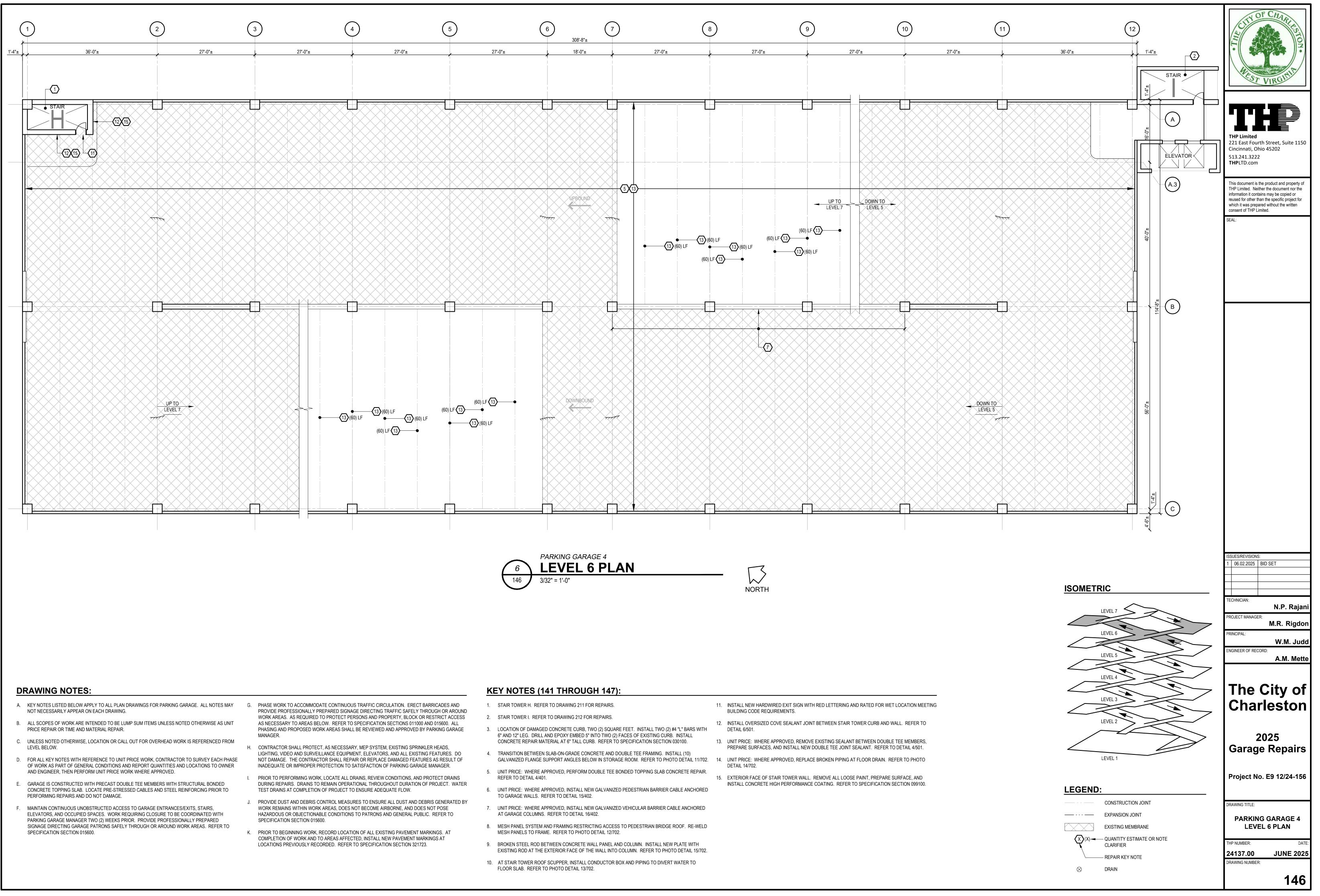


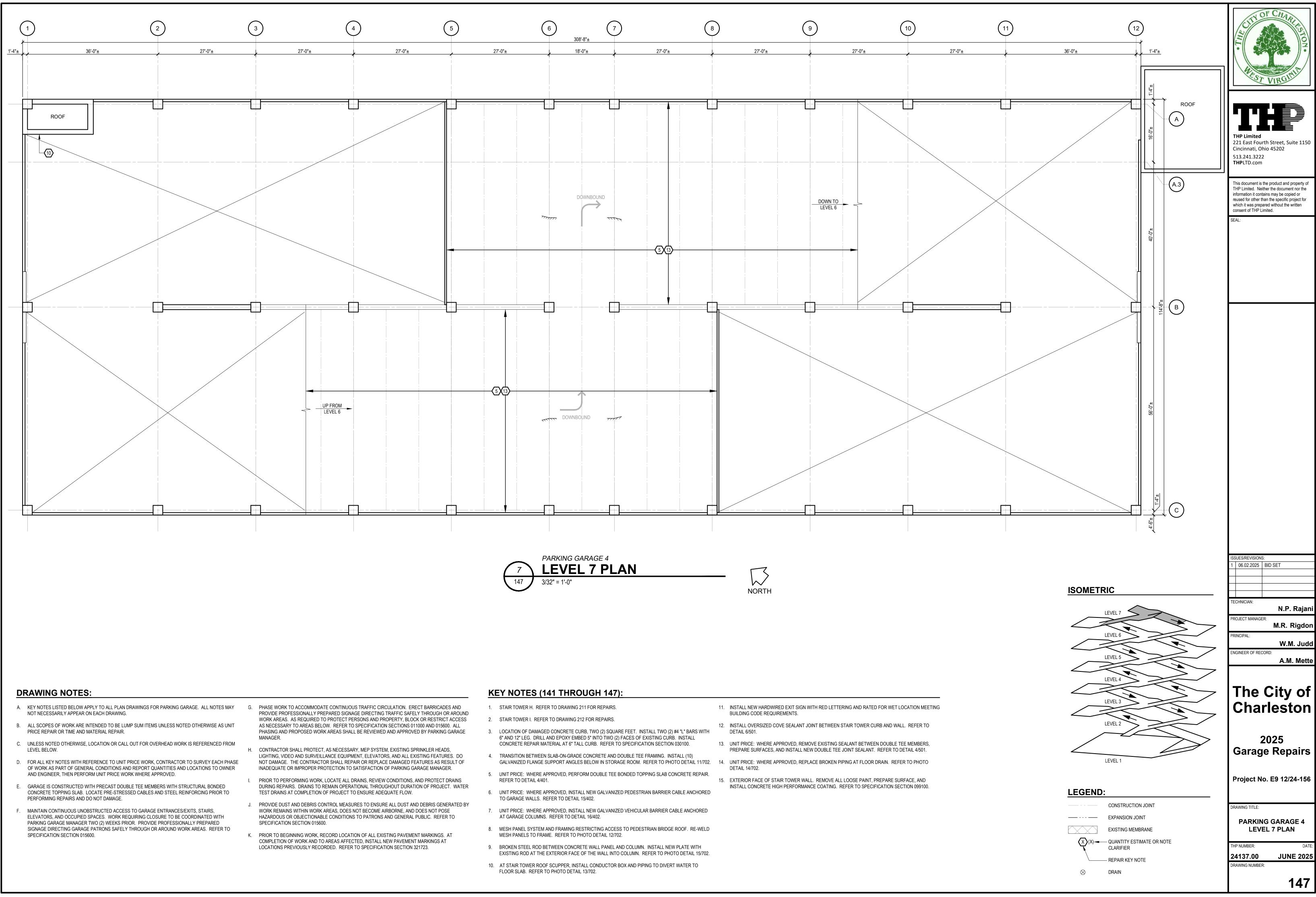


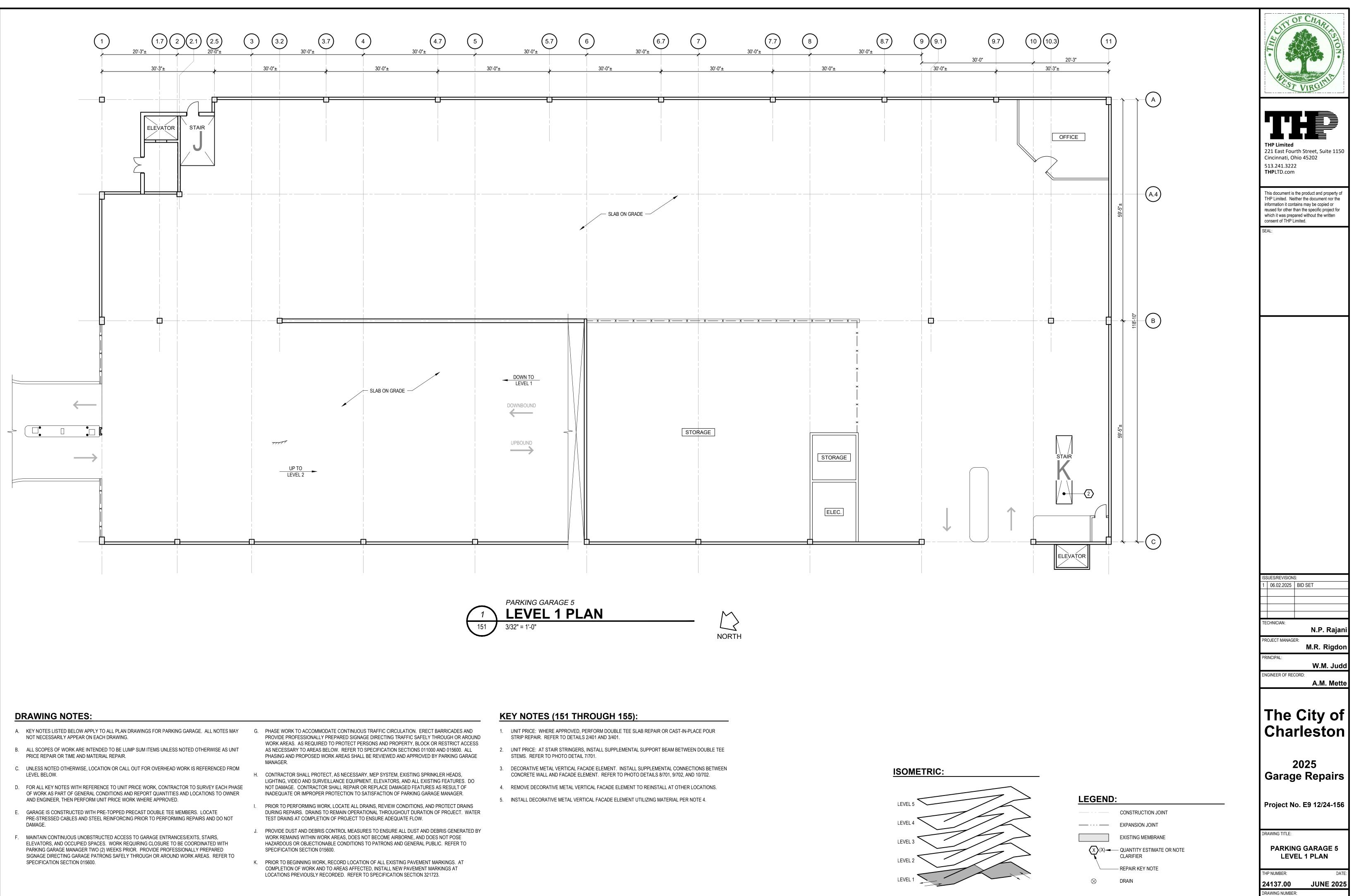




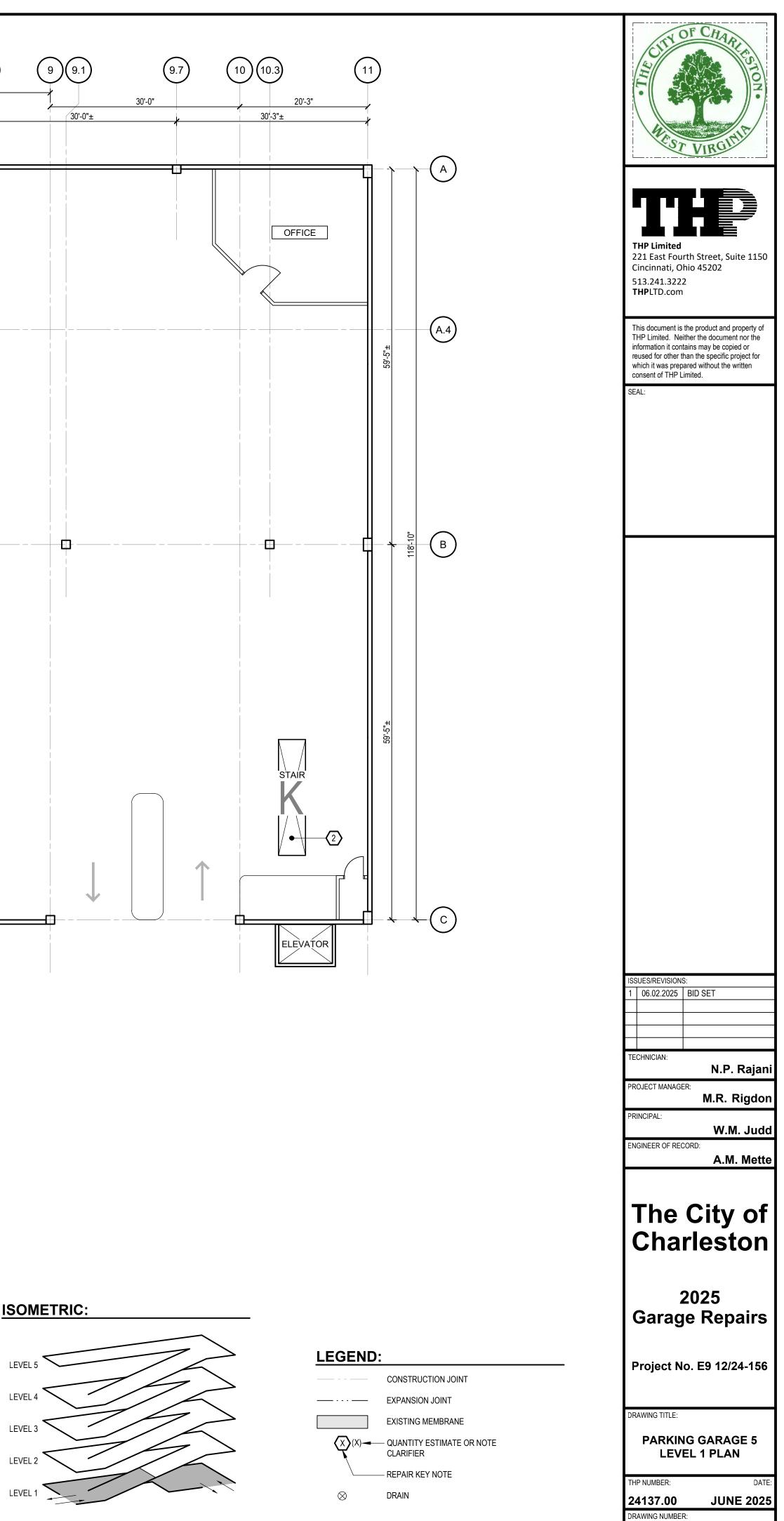


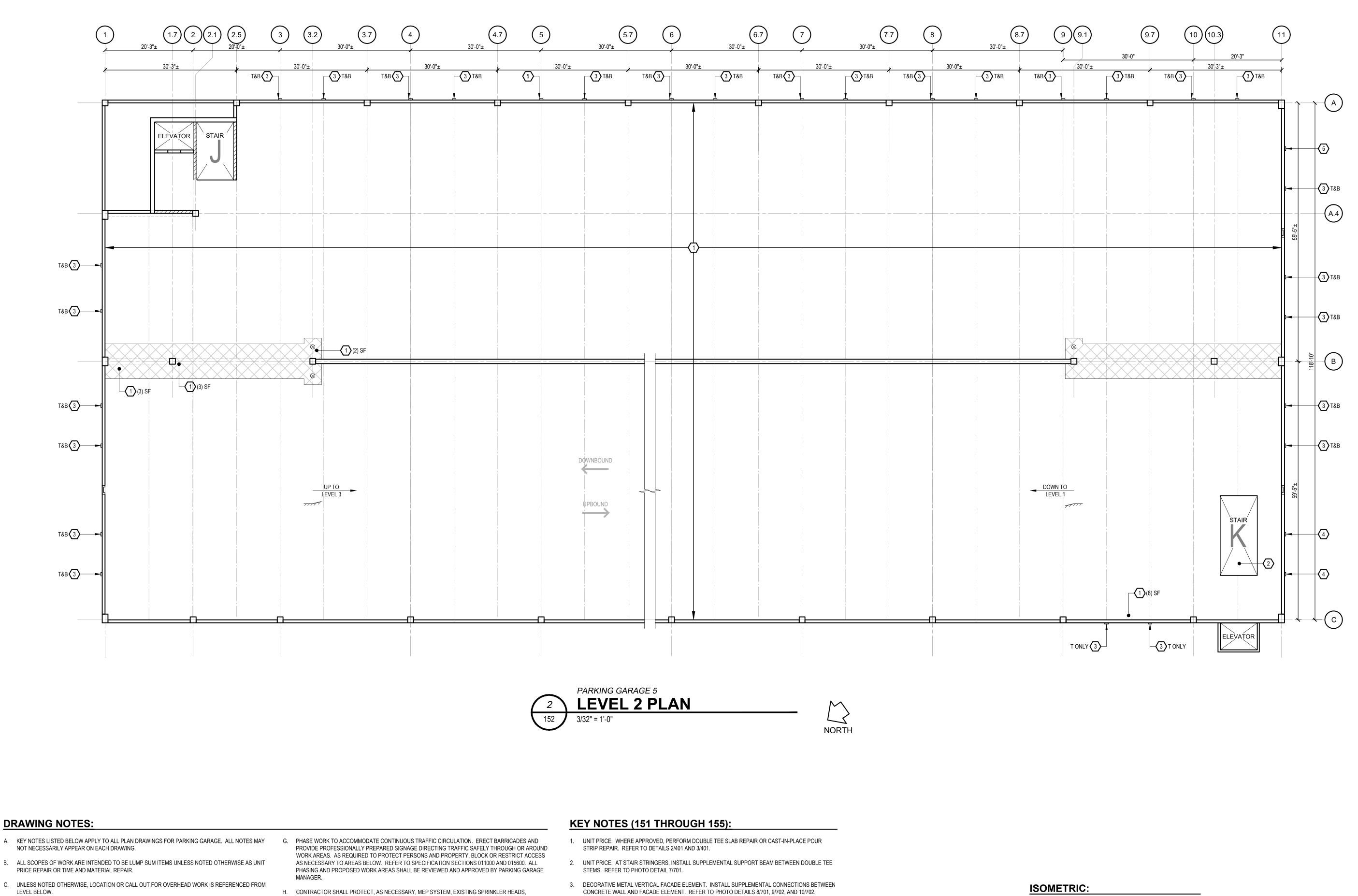










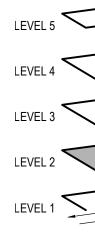


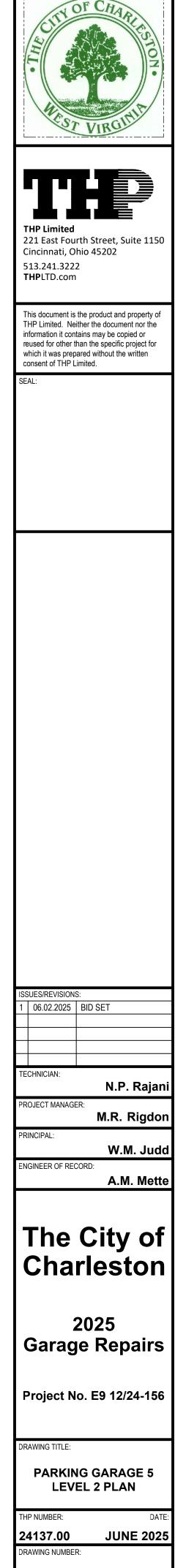
- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- E. GARAGE IS CONSTRUCTED WITH PRE-TOPPED PRECAST DOUBLE TEE MEMBERS. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRÓNS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.
- LIGHTING, VIDEO AND SURVEILLANCE EQUIPMENT, ELEVATORS, AND ALL EXISTING FEATURES. DO NOT DAMAGE. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED FEATURES AS RESULT OF INADEQUATE OR IMPROPER PROTECTION TO SATISFACTION OF PARKING GARAGE MANAGER.
- PRIOR TO PERFORMING WORK, LOCATE ALL DRAINS, REVIEW CONDITIONS, AND PROTECT DRAINS DURING REPAIRS. DRAINS TO REMAIN OPERATIONAL THROUGHOUT DURATION OF PROJECT. WATER TEST DRAINS AT COMPLETION OF PROJECT TO ENSURE ADEQUATE FLOW.
- J. PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY WORK REMAINS WITHIN WORK AREAS, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS TO PATRONS AND GENERAL PUBLIC. REFER TO SPECIFICATION SECTION 015600.
- PRIOR TO BEGINNING WORK, RECORD LOCATION OF ALL EXISTING PAVEMENT MARKINGS. AT Κ. COMPLETION OF WORK AND TO AREAS AFFECTED, INSTALL NEW PAVEMENT MARKINGS AT LOCATIONS PREVIOUSLY RECORDED. REFER TO SPECIFICATION SECTION 321723.



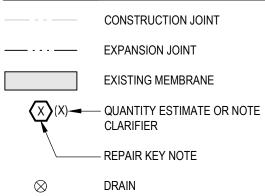


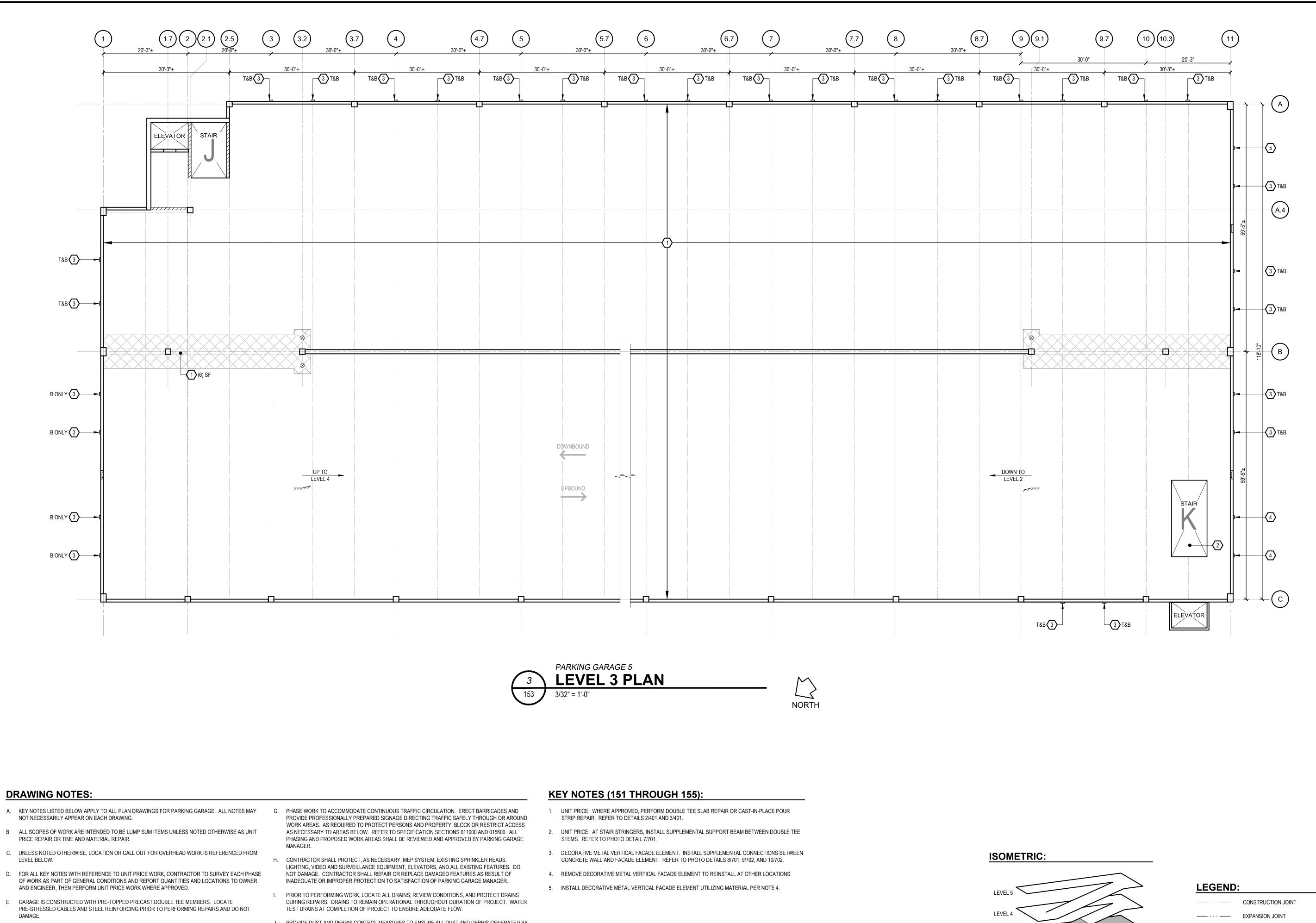
- 4. REMOVE DECORATIVE METAL VERTICAL FACADE ELEMENT TO REINSTALL AT OTHER LOCATIONS.
- 5. INSTALL DECORATIVE METAL VERTICAL FACADE ELEMENT UTILIZING MATERIAL PER NOTE 4.









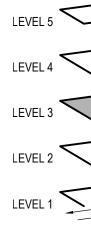


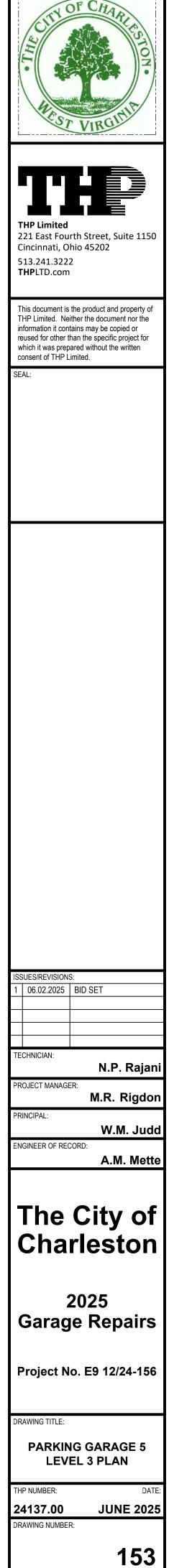
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRÓNS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.

- J. PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY WORK REMAINS WITHIN WORK AREAS, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS TO PATRONS AND GENERAL PUBLIC. REFER TO SPECIFICATION SECTION 015600.
- K. PRIOR TO BEGINNING WORK, RECORD LOCATION OF ALL EXISTING PAVEMENT MARKINGS. AT COMPLETION OF WORK AND TO AREAS AFFECTED, INSTALL NEW PAVEMENT MARKINGS AT LOCATIONS PREVIOUSLY RECORDED. REFER TO SPECIFICATION SECTION 321723.









EXISTING MEMBRANE

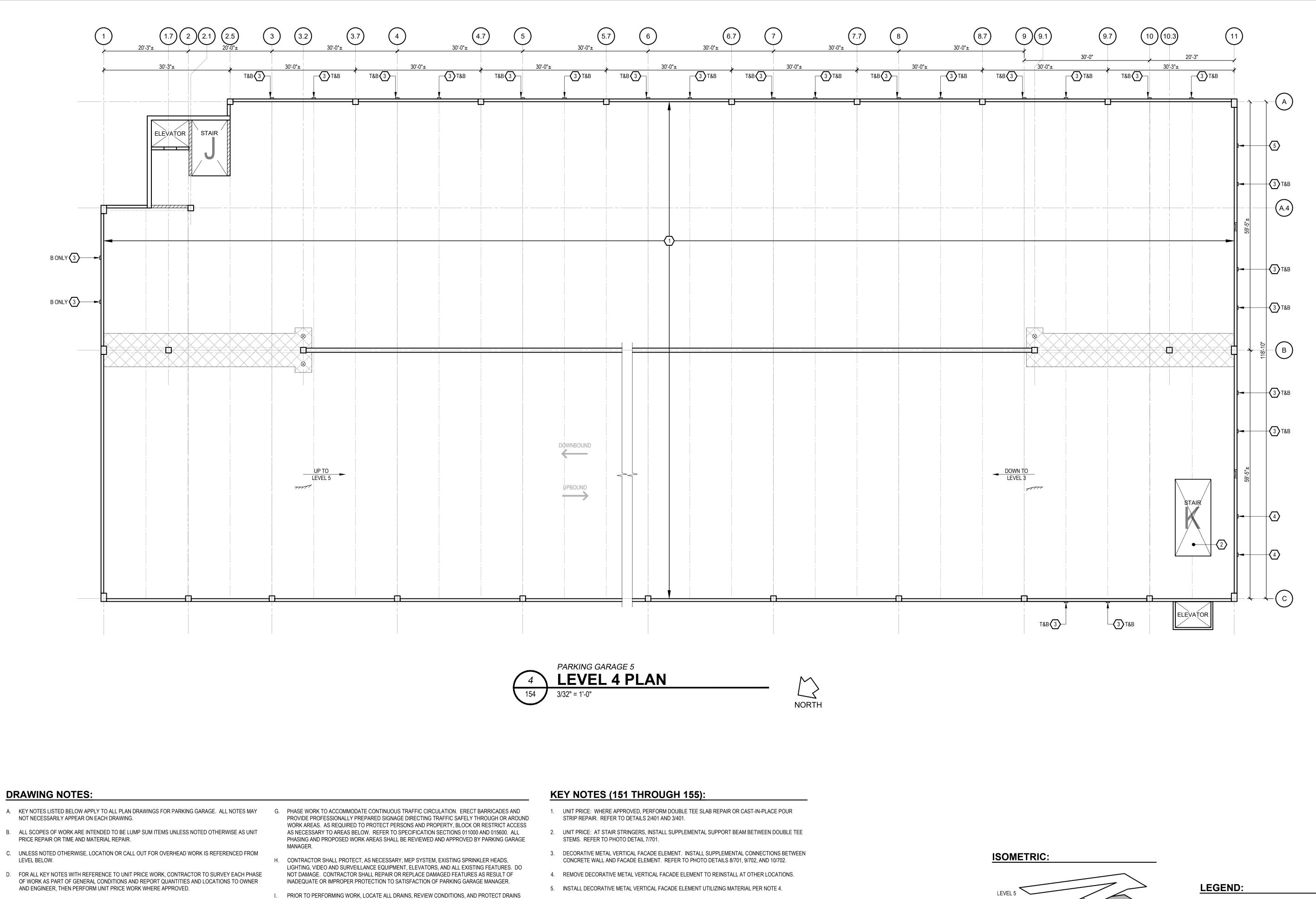
(X) QUANTITY ESTIMATE OR NOTE

- REPAIR KEY NOTE

CLARIFIER

DRAIN

 \otimes

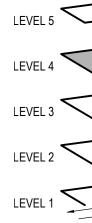


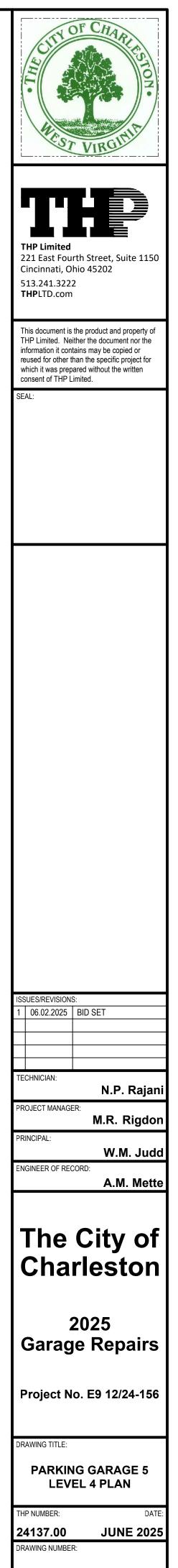
- E. GARAGE IS CONSTRUCTED WITH PRE-TOPPED PRECAST DOUBLE TEE MEMBERS. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRÓNS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.

- DURING REPAIRS. DRAINS TO REMAIN OPERATIONAL THROUGHOUT DURATION OF PROJECT. WATER TEST DRAINS AT COMPLETION OF PROJECT TO ENSURE ADEQUATE FLOW.
- J. PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY WORK REMAINS WITHIN WORK AREAS, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS TO PATRONS AND GENERAL PUBLIC. REFER TO SPECIFICATION SECTION 015600.
- K. PRIOR TO BEGINNING WORK, RECORD LOCATION OF ALL EXISTING PAVEMENT MARKINGS. AT COMPLETION OF WORK AND TO AREAS AFFECTED, INSTALL NEW PAVEMENT MARKINGS AT LOCATIONS PREVIOUSLY RECORDED. REFER TO SPECIFICATION SECTION 321723.









CONSTRUCTION JOINT

EXISTING MEMBRANE

(X) QUANTITY ESTIMATE OR NOTE

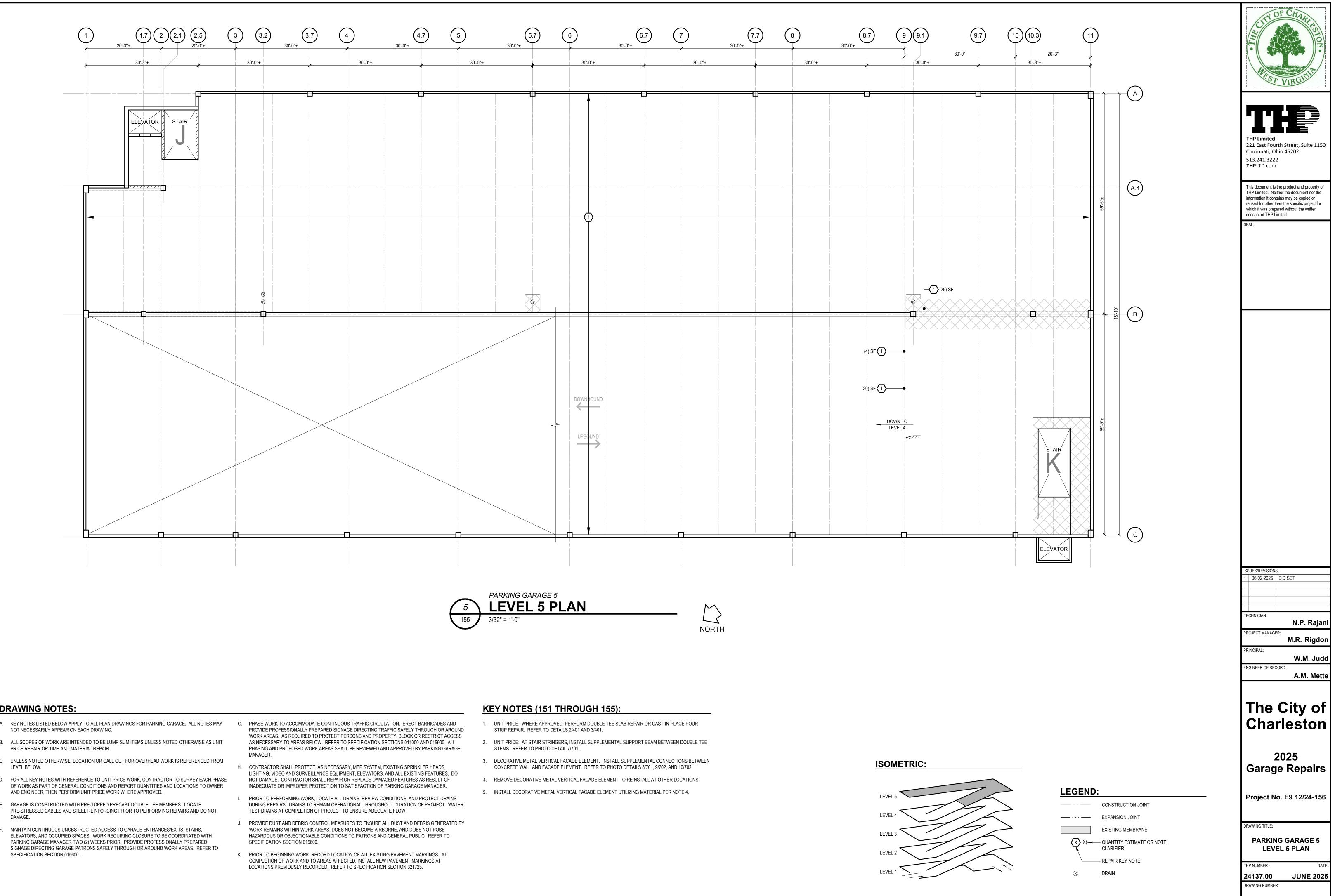
- REPAIR KEY NOTE

CLARIFIER

DRAIN

 \otimes

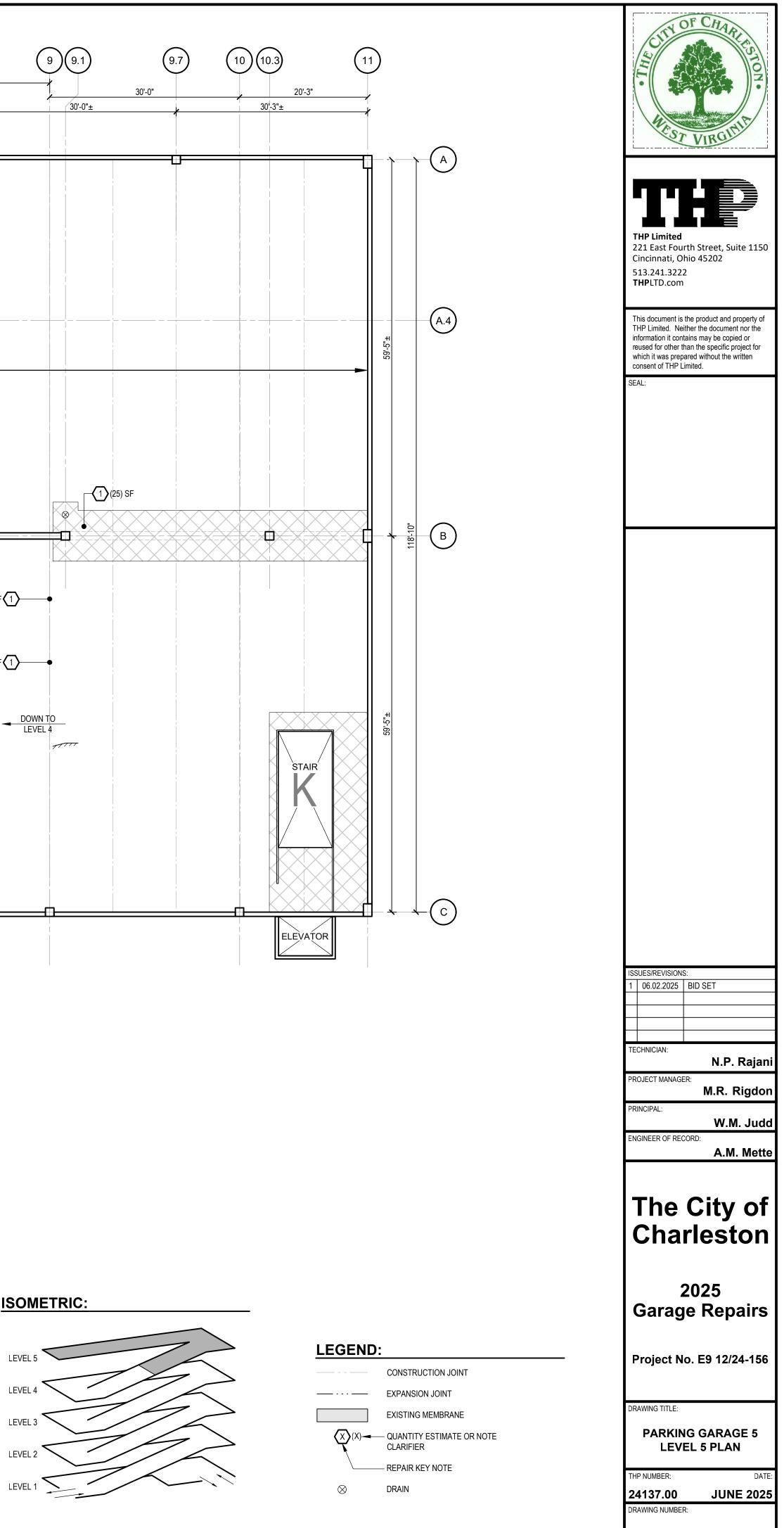
EXPANSION JOINT

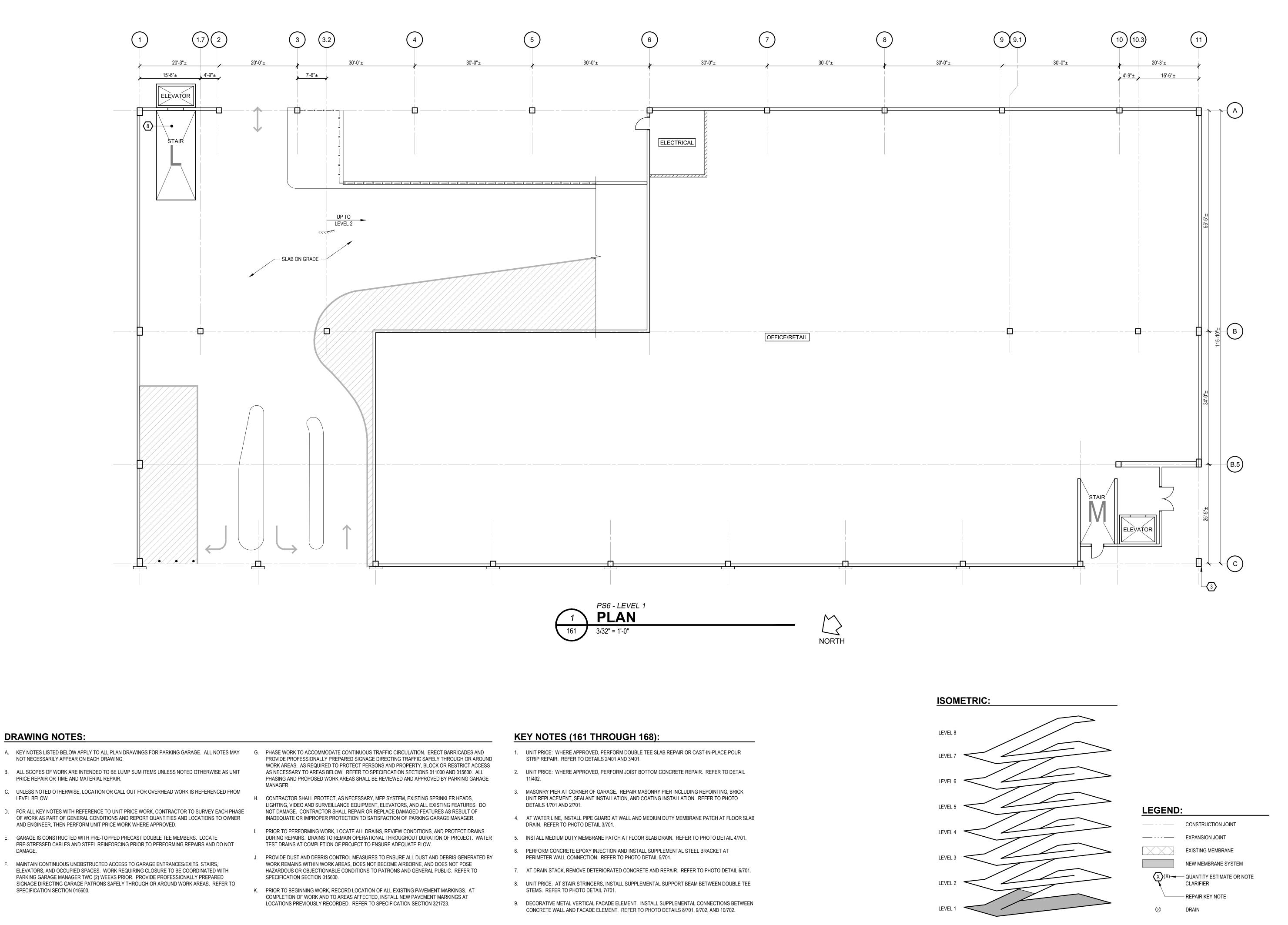


- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY NOT NECESSARILY APPEAR ON EACH DRAWING.
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.

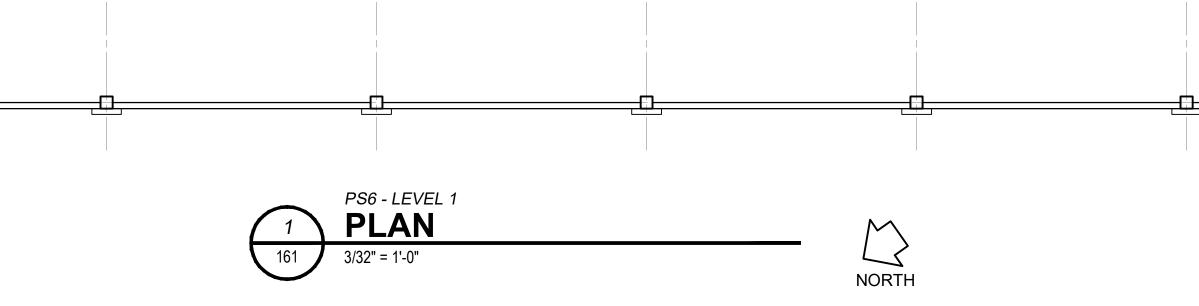




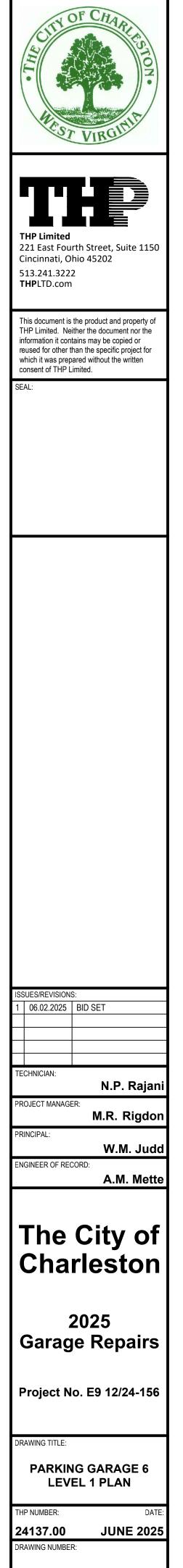


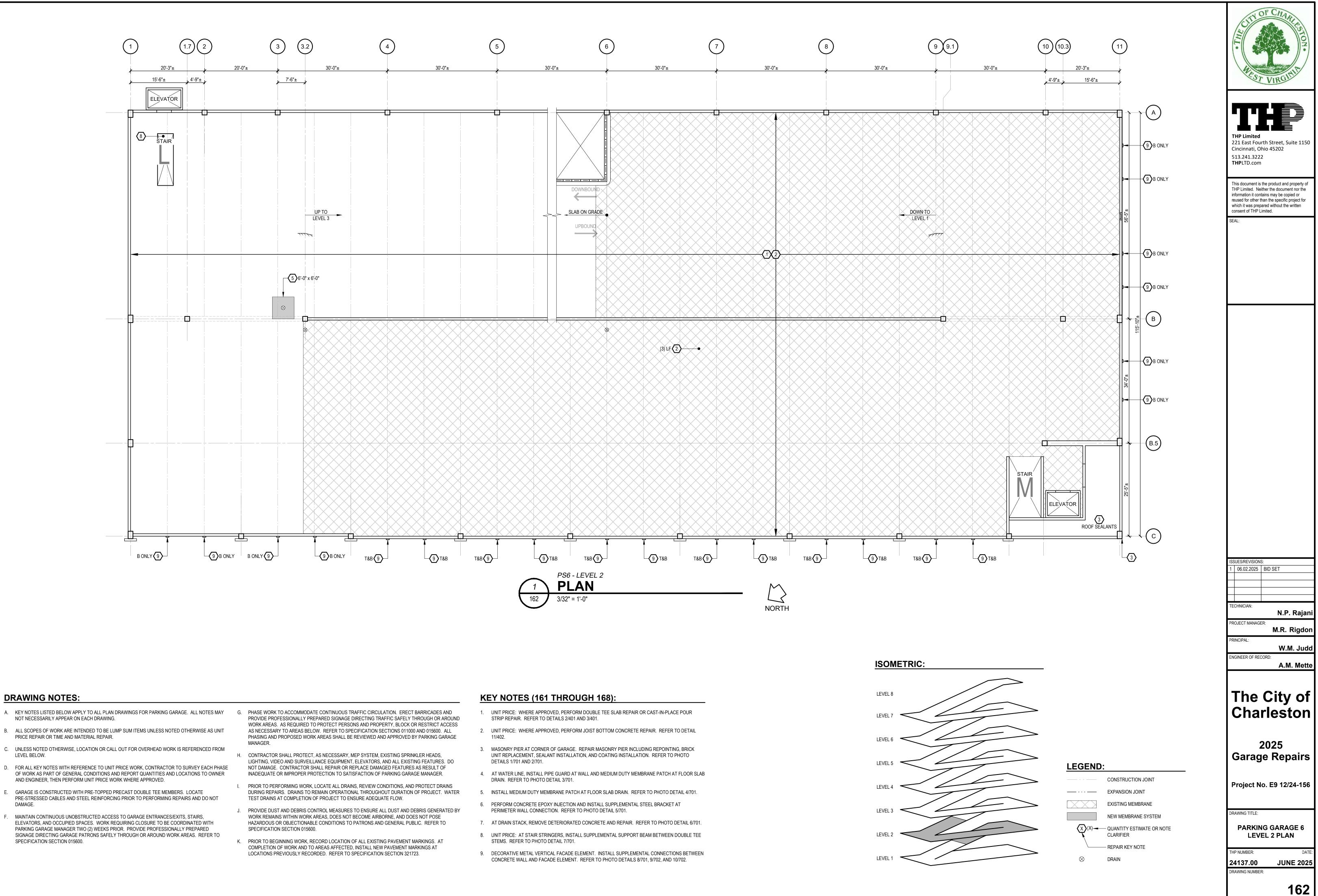


- NOT NECESSARILY APPEAR ON EACH DRAWING.
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- E. GARAGE IS CONSTRUCTED WITH PRE-TOPPED PRECAST DOUBLE TEE MEMBERS. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.



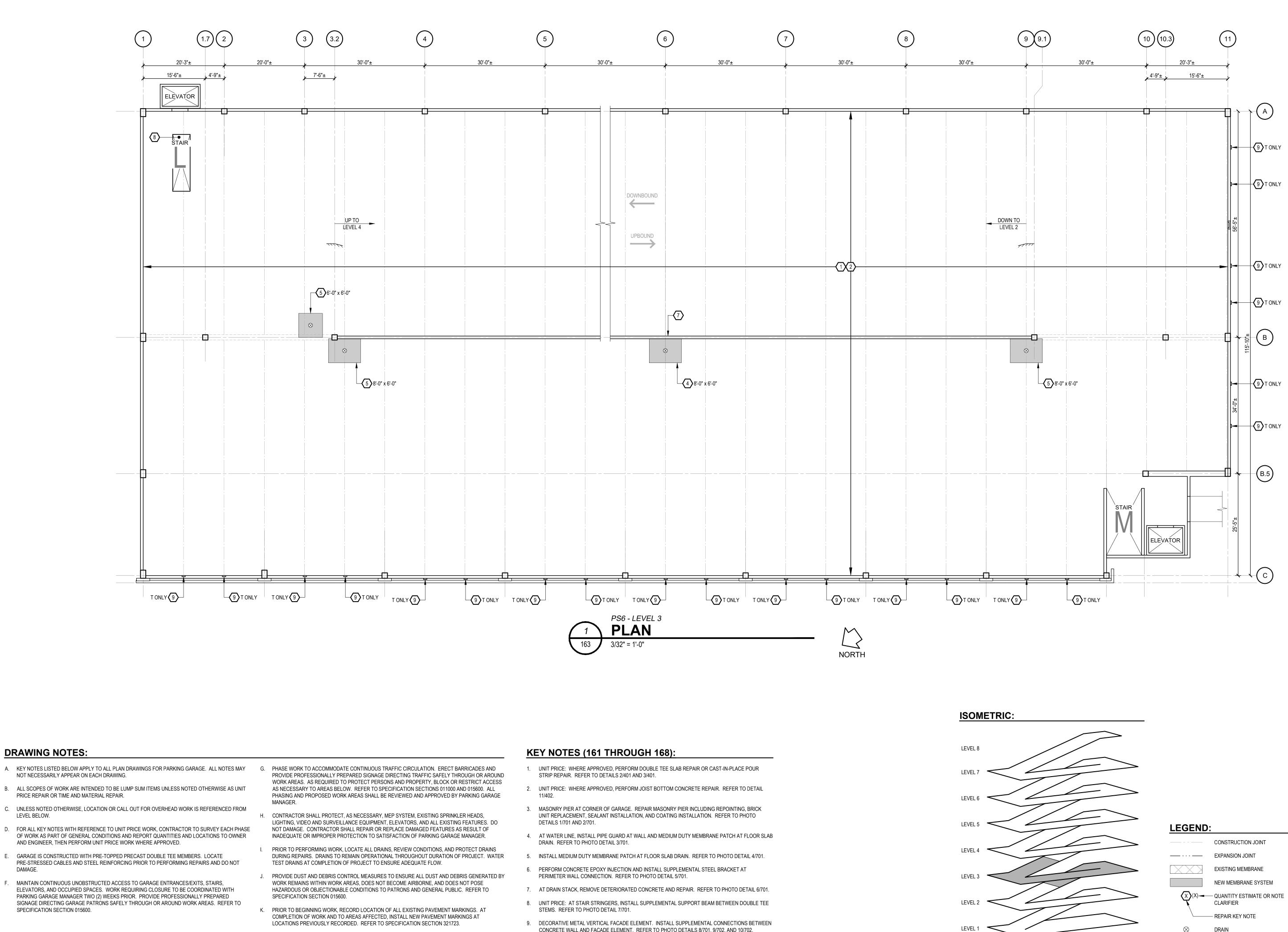
_	<u>K</u>	EY NOTES (161 THROUGH 168):
D	1.	UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE SLAB REPAIR OR CAST-IN-PLACE POUR STRIP REPAIR. REFER TO DETAILS 2/401 AND 3/401.
	2.	UNIT PRICE: WHERE APPROVED, PERFORM JOIST BOTTOM CONCRETE REPAIR. REFER TO DETAIL 11/402.
	3.	MASONRY PIER AT CORNER OF GARAGE. REPAIR MASONRY PIER INCLUDING REPOINTING, BRICK UNIT REPLACEMENT, SEALANT INSTALLATION, AND COATING INSTALLATION. REFER TO PHOTO DETAILS 1/701 AND 2/701.
	4.	AT WATER LINE, INSTALL PIPE GUARD AT WALL AND MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 3/701.
R	5.	INSTALL MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 4/701.
3Y	6.	PERFORM CONCRETE EPOXY INJECTION AND INSTALL SUPPLEMENTAL STEEL BRACKET AT PERIMETER WALL CONNECTION. REFER TO PHOTO DETAIL 5/701.
	7.	AT DRAIN STACK, REMOVE DETERIORATED CONCRETE AND REPAIR. REFER TO PHOTO DETAIL 6/701.
	8.	UNIT PRICE: AT STAIR STRINGERS, INSTALL SUPPLEMENTAL SUPPORT BEAM BETWEEN DOUBLE TEE STEMS. REFER TO PHOTO DETAIL 7/701.
	9.	DECORATIVE METAL VERTICAL FACADE ELEMENT. INSTALL SUPPLEMENTAL CONNECTIONS BETWEEN CONCRETE WALL AND FACADE ELEMENT. REFER TO PHOTO DETAILS 8/701, 9/702, AND 10/702.





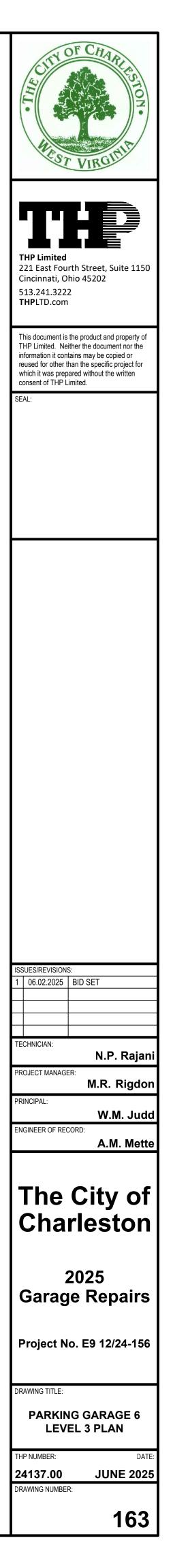
- NOT NECESSARILY APPEAR ON EACH DRAWING.
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- E. GARAGE IS CONSTRUCTED WITH PRE-TOPPED PRECAST DOUBLE TEE MEMBERS. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRÓNS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.

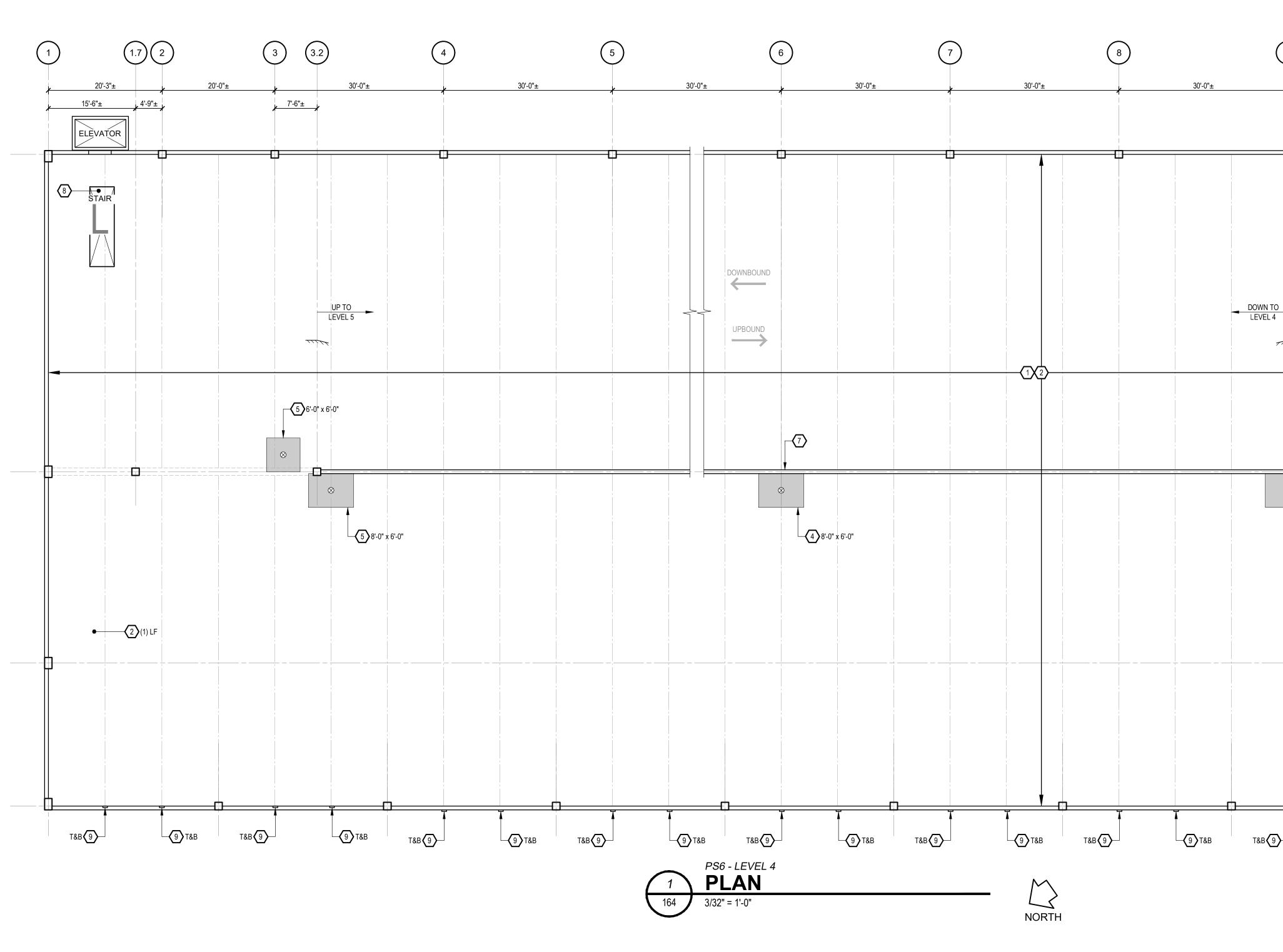
 UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE SLAB REPAIR OR CAST-IN-PLACE POUR STRIP REPAIR. REFER TO DETAILS 2/401 AND 3/401. UNIT PRICE: WHERE APPROVED, PERFORM JOIST BOTTOM CONCRETE REPAIR. REFER TO DETAIL 11/402. MASONRY PIER AT CORNER OF GARAGE. REPAIR MASONRY PIER INCLUDING REPOINTING, BRICK UNIT REPLACEMENT, SEALANT INSTALLATION, AND COATING INSTALLATION. REFER TO PHOTO DETAILS 1/701 AND 2/701. AT WATER LINE, INSTALL PIPE GUARD AT WALL AND MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 3/701. 	
 MASONRY PIER AT CORNER OF GARAGE. REPAIR MASONRY PIER INCLUDING REPOINTING, BRICK UNIT REPLACEMENT, SEALANT INSTALLATION, AND COATING INSTALLATION. REFER TO PHOTO DETAILS 1/701 AND 2/701. AT WATER LINE, INSTALL PIPE GUARD AT WALL AND MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB 	
 UNIT REPLACEMENT, SEALANT INSTALLATION, AND COATING INSTALLATION. REFER TO PHOTO DETAILS 1/701 AND 2/701. AT WATER LINE, INSTALL PIPE GUARD AT WALL AND MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB 	
,	
5. INSTALL MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 4/701.	
6. PERFORM CONCRETE EPOXY INJECTION AND INSTALL SUPPLEMENTAL STEEL BRACKET AT PERIMETER WALL CONNECTION. REFER TO PHOTO DETAIL 5/701.	
7. AT DRAIN STACK, REMOVE DETERIORATED CONCRETE AND REPAIR. REFER TO PHOTO DETAIL 6/701.	
8. UNIT PRICE: AT STAIR STRINGERS, INSTALL SUPPLEMENTAL SUPPORT BEAM BETWEEN DOUBLE TEE STEMS. REFER TO PHOTO DETAIL 7/701.	
9. DECORATIVE METAL VERTICAL FACADE ELEMENT. INSTALL SUPPLEMENTAL CONNECTIONS BETWEEN CONCRETE WALL AND FACADE ELEMENT. REFER TO PHOTO DETAILS 8/701, 9/702, AND 10/702.	



- NOT NECESSARILY APPEAR ON EACH DRAWING.
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- E. GARAGE IS CONSTRUCTED WITH PRE-TOPPED PRECAST DOUBLE TEE MEMBERS. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRÓNS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.

	K	EY NOTES (161 THROUGH 168):
)	1.	UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE SLAB REPAIR OR CAST-IN-PLACE POUR STRIP REPAIR. REFER TO DETAILS 2/401 AND 3/401.
	2.	UNIT PRICE: WHERE APPROVED, PERFORM JOIST BOTTOM CONCRETE REPAIR. REFER TO DETAIL 11/402.
	3.	MASONRY PIER AT CORNER OF GARAGE. REPAIR MASONRY PIER INCLUDING REPOINTING, BRICK UNIT REPLACEMENT, SEALANT INSTALLATION, AND COATING INSTALLATION. REFER TO PHOTO DETAILS 1/701 AND 2/701.
	4.	AT WATER LINE, INSTALL PIPE GUARD AT WALL AND MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 3/701.
	5.	INSTALL MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 4/701.
	6.	PERFORM CONCRETE EPOXY INJECTION AND INSTALL SUPPLEMENTAL STEEL BRACKET AT PERIMETER WALL CONNECTION. REFER TO PHOTO DETAIL 5/701.
	7.	AT DRAIN STACK, REMOVE DETERIORATED CONCRETE AND REPAIR. REFER TO PHOTO DETAIL 6/701.
	8.	UNIT PRICE: AT STAIR STRINGERS, INSTALL SUPPLEMENTAL SUPPORT BEAM BETWEEN DOUBLE TEE STEMS. REFER TO PHOTO DETAIL 7/701.
	9.	DECORATIVE METAL VERTICAL FACADE ELEMENT. INSTALL SUPPLEMENTAL CONNECTIONS BETWEEN CONCRETE WALL AND FACADE ELEMENT. REFER TO PHOTO DETAILS 8/701, 9/702, AND 10/702.

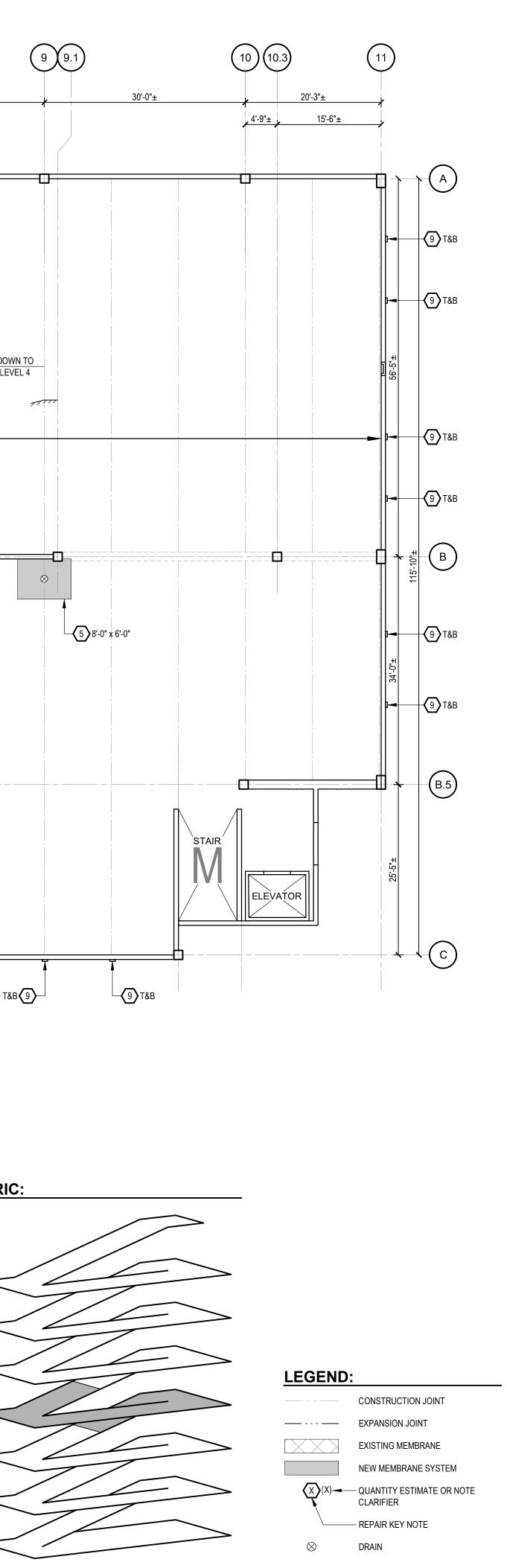


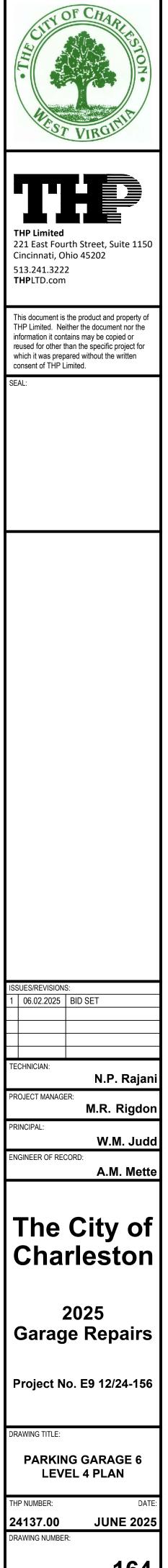


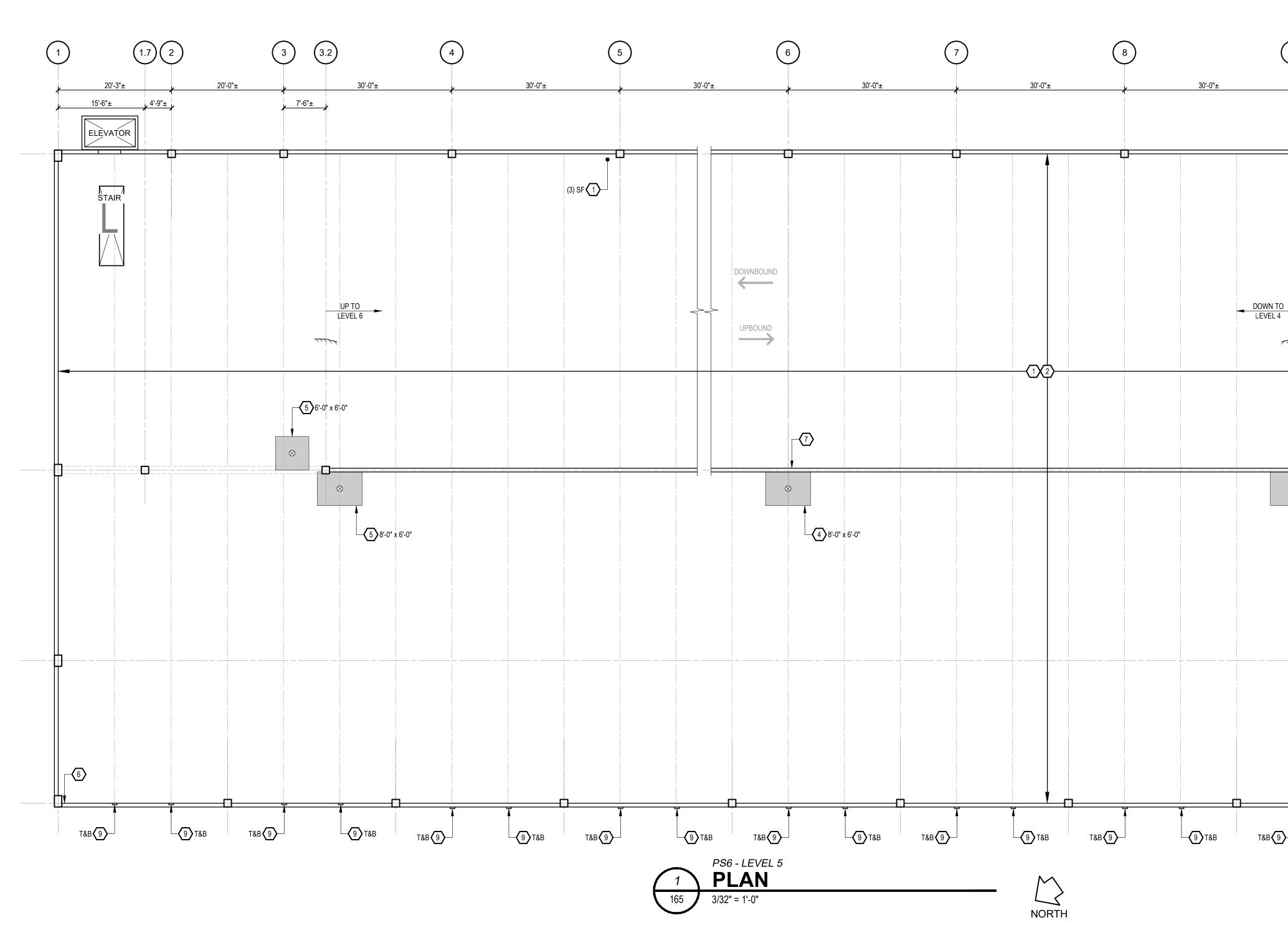
- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY NOT NECESSARILY APPEAR ON EACH DRAWING. G. PHASE WORK TO ACCOMMODATE CONTINUOUS TRAFFIC CIRCULATION. ERECT BARRICADES PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING TRAFFIC SAFELY THROUGH OR
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- E. GARAGE IS CONSTRUCTED WITH PRE-TOPPED PRECAST DOUBLE TEE MEMBERS. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.
- PHASE WORK TO ACCOMMODATE CONTINUOUS TRAFFIC CIRCULATION. ERECT BARRICADES PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING TRAFFIC SAFELY THROUGH OR / WORK AREAS. AS REQUIRED TO PROTECT PERSONS AND PROPERTY, BLOCK OR RESTRICT A AS NECESSARY TO AREAS BELOW. REFER TO SPECIFICATION SECTIONS 011000 AND 015600. PHASING AND PROPOSED WORK AREAS SHALL BE REVIEWED AND APPROVED BY PARKING G/ MANAGER.
- H. CONTRACTOR SHALL PROTECT, AS NECESSARY, MEP SYSTEM, EXISTING SPRINKLER HEADS, LIGHTING, VIDEO AND SURVEILLANCE EQUIPMENT, ELEVATORS, AND ALL EXISTING FEATURES NOT DAMAGE. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED FEATURES AS RESULT O INADEQUATE OR IMPROPER PROTECTION TO SATISFACTION OF PARKING GARAGE MANAGER
- PRIOR TO PERFORMING WORK, LOCATE ALL DRAINS, REVIEW CONDITIONS, AND PROTECT DR DURING REPAIRS. DRAINS TO REMAIN OPERATIONAL THROUGHOUT DURATION OF PROJECT. TEST DRAINS AT COMPLETION OF PROJECT TO ENSURE ADEQUATE FLOW.
- J. PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENER. WORK REMAINS WITHIN WORK AREAS, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS TO PATRONS AND GENERAL PUBLIC. REFER T SPECIFICATION SECTION 015600.
- K. PRIOR TO BEGINNING WORK, RECORD LOCATION OF ALL EXISTING PAVEMENT MARKINGS. AT COMPLETION OF WORK AND TO AREAS AFFECTED, INSTALL NEW PAVEMENT MARKINGS AT LOCATIONS PREVIOUSLY RECORDED. REFER TO SPECIFICATION SECTION 321723.

ISOMETRIC:

<u>K</u>	EY NOTES (161 THROUGH 168):	I
1.	UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE SLAB REPAIR OR CAST-IN-PLACE POUR STRIP REPAIR. REFER TO DETAILS 2/401 AND 3/401.	I
2.	UNIT PRICE: WHERE APPROVED, PERFORM JOIST BOTTOM CONCRETE REPAIR. REFER TO DETAIL 11/402.	1
3.	MASONRY PIER AT CORNER OF GARAGE. REPAIR MASONRY PIER INCLUDING REPOINTING, BRICK UNIT REPLACEMENT, SEALANT INSTALLATION, AND COATING INSTALLATION. REFER TO PHOTO DETAILS 1/701 AND 2/701.	I
4.	AT WATER LINE, INSTALL PIPE GUARD AT WALL AND MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 3/701.	
5.	INSTALL MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 4/701.	
6.	PERFORM CONCRETE EPOXY INJECTION AND INSTALL SUPPLEMENTAL STEEL BRACKET AT PERIMETER WALL CONNECTION. REFER TO PHOTO DETAIL 5/701.	I
7.	AT DRAIN STACK, REMOVE DETERIORATED CONCRETE AND REPAIR. REFER TO PHOTO DETAIL 6/701.	
8.	UNIT PRICE: AT STAIR STRINGERS, INSTALL SUPPLEMENTAL SUPPORT BEAM BETWEEN DOUBLE TEE STEMS. REFER TO PHOTO DETAIL 7/701.	
9.	DECORATIVE METAL VERTICAL FACADE ELEMENT. INSTALL SUPPLEMENTAL CONNECTIONS BETWEEN CONCRETE WALL AND FACADE ELEMENT. REFER TO PHOTO DETAILS 8/701, 9/702, AND 10/702.	I



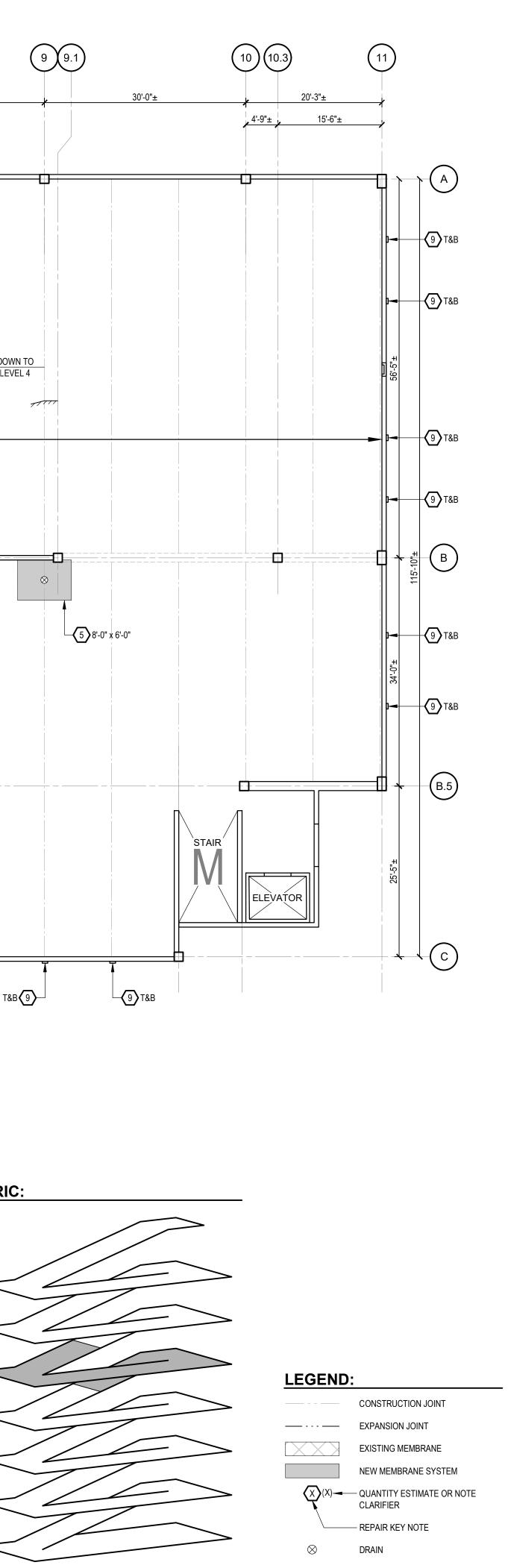


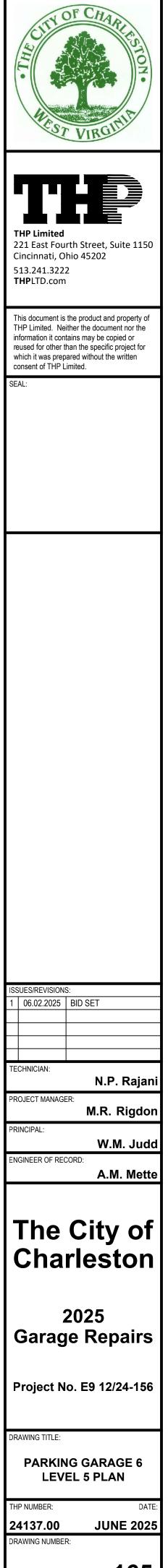


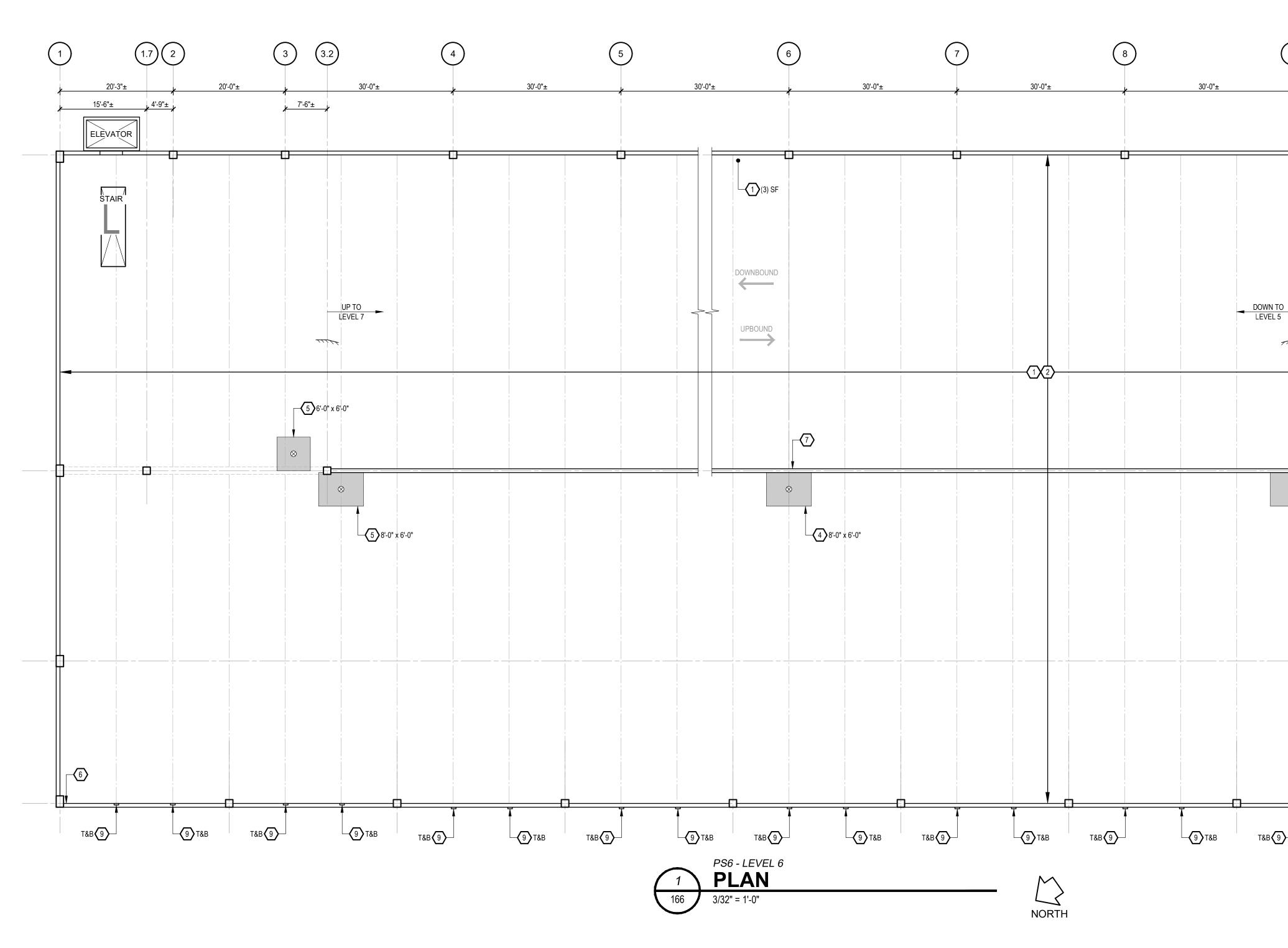
- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY NOT NECESSARILY APPEAR ON EACH DRAWING. G. PHASE WORK TO ACCOMMODATE CONTINUOUS TRAFFIC CIRCULATION. ERECT BARRICADES PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING TRAFFIC SAFELY THROUGH OR
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- E. GARAGE IS CONSTRUCTED WITH PRE-TOPPED PRECAST DOUBLE TEE MEMBERS. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.
- PHASE WORK TO ACCOMMODATE CONTINUOUS TRAFFIC CIRCULATION. ERECT BARRICADES
 PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING TRAFFIC SAFELY THROUGH OR / WORK AREAS. AS REQUIRED TO PROTECT PERSONS AND PROPERTY, BLOCK OR RESTRICT A
 AS NECESSARY TO AREAS BELOW. REFER TO SPECIFICATION SECTIONS 011000 AND 015600.
 PHASING AND PROPOSED WORK AREAS SHALL BE REVIEWED AND APPROVED BY PARKING G, MANAGER.
- H. CONTRACTOR SHALL PROTECT, AS NECESSARY, MEP SYSTEM, EXISTING SPRINKLER HEADS, LIGHTING, VIDEO AND SURVEILLANCE EQUIPMENT, ELEVATORS, AND ALL EXISTING FEATURES NOT DAMAGE. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED FEATURES AS RESULT C INADEQUATE OR IMPROPER PROTECTION TO SATISFACTION OF PARKING GARAGE MANAGER
- PRIOR TO PERFORMING WORK, LOCATE ALL DRAINS, REVIEW CONDITIONS, AND PROTECT DR DURING REPAIRS. DRAINS TO REMAIN OPERATIONAL THROUGHOUT DURATION OF PROJECT. TEST DRAINS AT COMPLETION OF PROJECT TO ENSURE ADEQUATE FLOW.
- J. PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENER. WORK REMAINS WITHIN WORK AREAS, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS TO PATRONS AND GENERAL PUBLIC. REFER T SPECIFICATION SECTION 015600.
- K. PRIOR TO BEGINNING WORK, RECORD LOCATION OF ALL EXISTING PAVEMENT MARKINGS. AT COMPLETION OF WORK AND TO AREAS AFFECTED, INSTALL NEW PAVEMENT MARKINGS AT LOCATIONS PREVIOUSLY RECORDED. REFER TO SPECIFICATION SECTION 321723.

ISOMETRIC:

1.		
	UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE SLAB REPAIR OR CAST-IN-PLACE POUR STRIP REPAIR. REFER TO DETAILS 2/401 AND 3/401.	LEVEL
2.	UNIT PRICE: WHERE APPROVED, PERFORM JOIST BOTTOM CONCRETE REPAIR. REFER TO DETAIL 11/402.	LEVEL
	MASONRY PIER AT CORNER OF GARAGE. REPAIR MASONRY PIER INCLUDING REPOINTING, BRICK UNIT REPLACEMENT, SEALANT INSTALLATION, AND COATING INSTALLATION. REFER TO PHOTO DETAILS 1/701 AND 2/701.	LEVEL
	AT WATER LINE, INSTALL PIPE GUARD AT WALL AND MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 3/701.	
5.	INSTALL MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 4/701.	LEVE
6.	PERFORM CONCRETE EPOXY INJECTION AND INSTALL SUPPLEMENTAL STEEL BRACKET AT PERIMETER WALL CONNECTION. REFER TO PHOTO DETAIL 5/701.	LEVE
7.	AT DRAIN STACK, REMOVE DETERIORATED CONCRETE AND REPAIR. REFER TO PHOTO DETAIL 6/701.	
8.	UNIT PRICE: AT STAIR STRINGERS, INSTALL SUPPLEMENTAL SUPPORT BEAM BETWEEN DOUBLE TEE STEMS. REFER TO PHOTO DETAIL 7/701.	LEVE
9.	DECORATIVE METAL VERTICAL FACADE ELEMENT. INSTALL SUPPLEMENTAL CONNECTIONS BETWEEN CONCRETE WALL AND FACADE ELEMENT. REFER TO PHOTO DETAILS 8/701, 9/702, AND 10/702.	LEVE



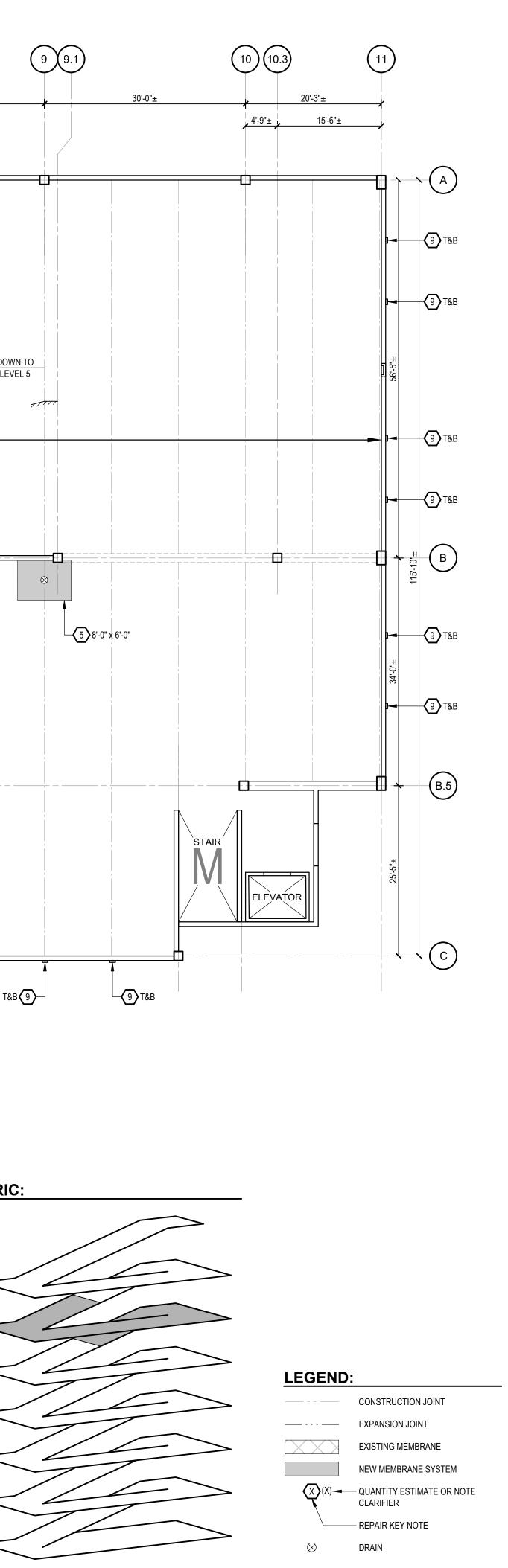


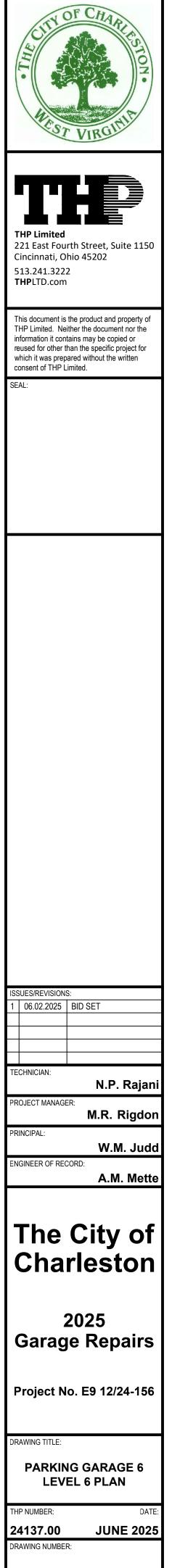


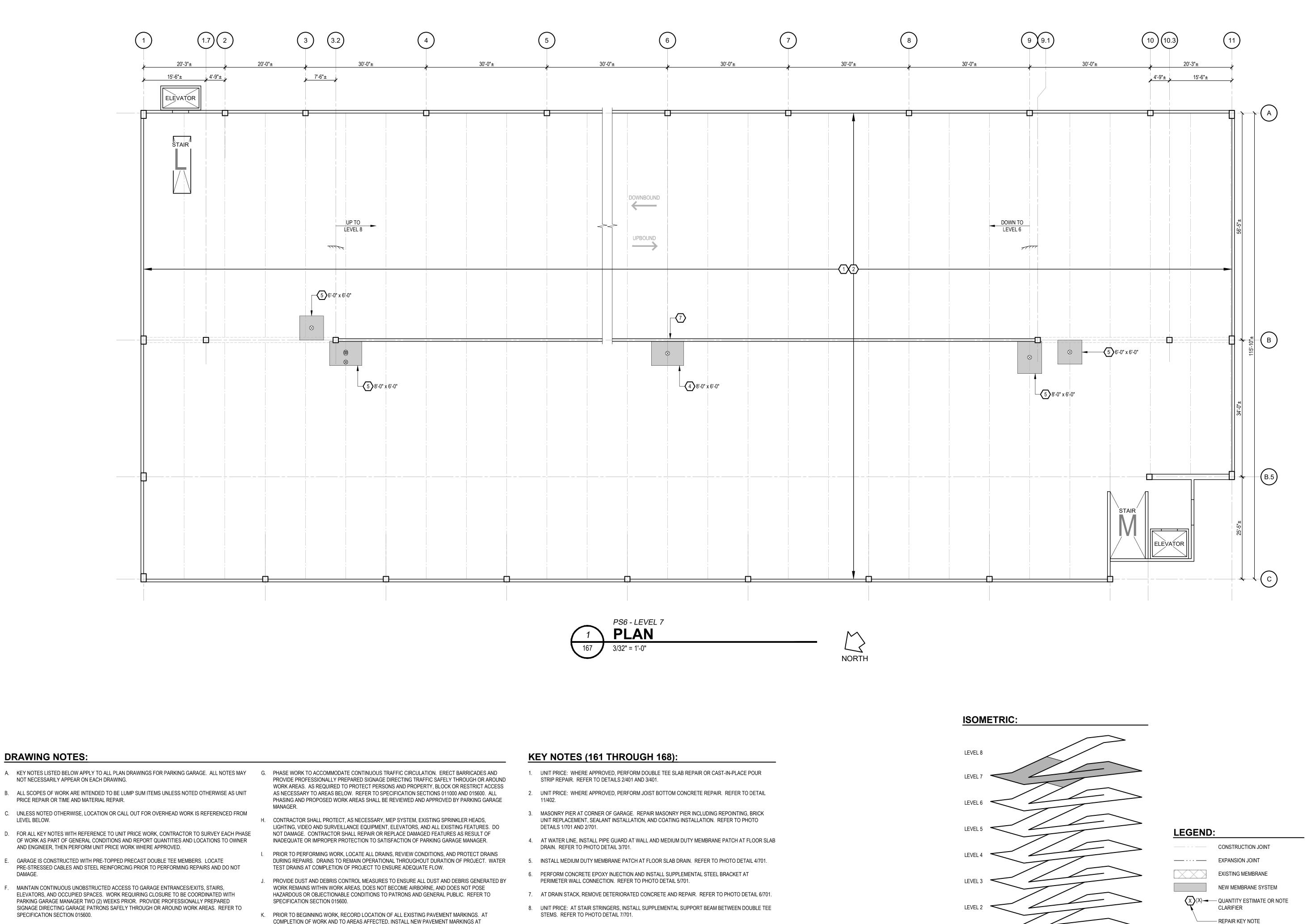
- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY NOT NECESSARILY APPEAR ON EACH DRAWING. G. PHASE WORK TO ACCOMMODATE CONTINUOUS TRAFFIC CIRCULATION. ERECT BARRICADES PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING TRAFFIC SAFELY THROUGH OR
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- E. GARAGE IS CONSTRUCTED WITH PRE-TOPPED PRECAST DOUBLE TEE MEMBERS. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.
- PHASE WORK TO ACCOMMODATE CONTINUOUS TRAFFIC CIRCULATION. ERECT BARRICADES
 PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING TRAFFIC SAFELY THROUGH OR / WORK AREAS. AS REQUIRED TO PROTECT PERSONS AND PROPERTY, BLOCK OR RESTRICT A
 AS NECESSARY TO AREAS BELOW. REFER TO SPECIFICATION SECTIONS 011000 AND 015600.
 PHASING AND PROPOSED WORK AREAS SHALL BE REVIEWED AND APPROVED BY PARKING G, MANAGER.
- H. CONTRACTOR SHALL PROTECT, AS NECESSARY, MEP SYSTEM, EXISTING SPRINKLER HEADS, LIGHTING, VIDEO AND SURVEILLANCE EQUIPMENT, ELEVATORS, AND ALL EXISTING FEATURES NOT DAMAGE. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED FEATURES AS RESULT C INADEQUATE OR IMPROPER PROTECTION TO SATISFACTION OF PARKING GARAGE MANAGER
- PRIOR TO PERFORMING WORK, LOCATE ALL DRAINS, REVIEW CONDITIONS, AND PROTECT DR DURING REPAIRS. DRAINS TO REMAIN OPERATIONAL THROUGHOUT DURATION OF PROJECT. TEST DRAINS AT COMPLETION OF PROJECT TO ENSURE ADEQUATE FLOW.
- J. PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENER. WORK REMAINS WITHIN WORK AREAS, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS TO PATRONS AND GENERAL PUBLIC. REFER T SPECIFICATION SECTION 015600.
- K. PRIOR TO BEGINNING WORK, RECORD LOCATION OF ALL EXISTING PAVEMENT MARKINGS. AT COMPLETION OF WORK AND TO AREAS AFFECTED, INSTALL NEW PAVEMENT MARKINGS AT LOCATIONS PREVIOUSLY RECORDED. REFER TO SPECIFICATION SECTION 321723.

ISOMETRIC:

	EY NOTES (161 THROUGH 168):	LEVEL
1.	UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE SLAB REPAIR OR CAST-IN-PLACE POUR STRIP REPAIR. REFER TO DETAILS 2/401 AND 3/401.	LEVEL
2.	UNIT PRICE: WHERE APPROVED, PERFORM JOIST BOTTOM CONCRETE REPAIR. REFER TO DETAIL 11/402.	LEVEL
3.	MASONRY PIER AT CORNER OF GARAGE. REPAIR MASONRY PIER INCLUDING REPOINTING, BRICK UNIT REPLACEMENT, SEALANT INSTALLATION, AND COATING INSTALLATION. REFER TO PHOTO DETAILS 1/701 AND 2/701.	LEVE
4.	AT WATER LINE, INSTALL PIPE GUARD AT WALL AND MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 3/701.	
5.	INSTALL MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 4/701.	LEVE
6.	PERFORM CONCRETE EPOXY INJECTION AND INSTALL SUPPLEMENTAL STEEL BRACKET AT PERIMETER WALL CONNECTION. REFER TO PHOTO DETAIL 5/701.	LEVE
7.	AT DRAIN STACK, REMOVE DETERIORATED CONCRETE AND REPAIR. REFER TO PHOTO DETAIL 6/701.	
8.	UNIT PRICE: AT STAIR STRINGERS, INSTALL SUPPLEMENTAL SUPPORT BEAM BETWEEN DOUBLE TEE STEMS. REFER TO PHOTO DETAIL 7/701.	LEVE
9.	DECORATIVE METAL VERTICAL FACADE ELEMENT. INSTALL SUPPLEMENTAL CONNECTIONS BETWEEN CONCRETE WALL AND FACADE ELEMENT. REFER TO PHOTO DETAILS 8/701, 9/702, AND 10/702.	LEVE



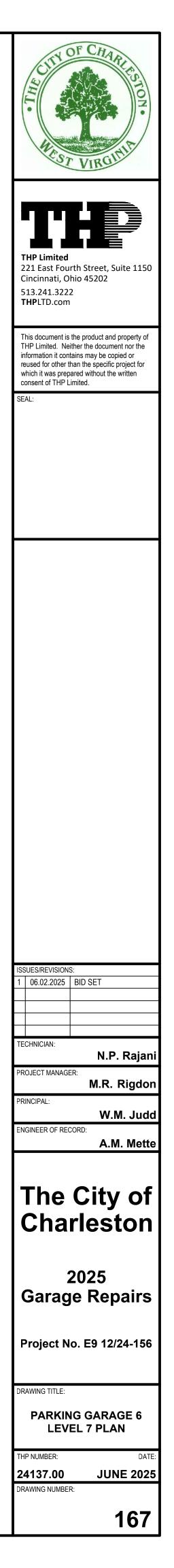




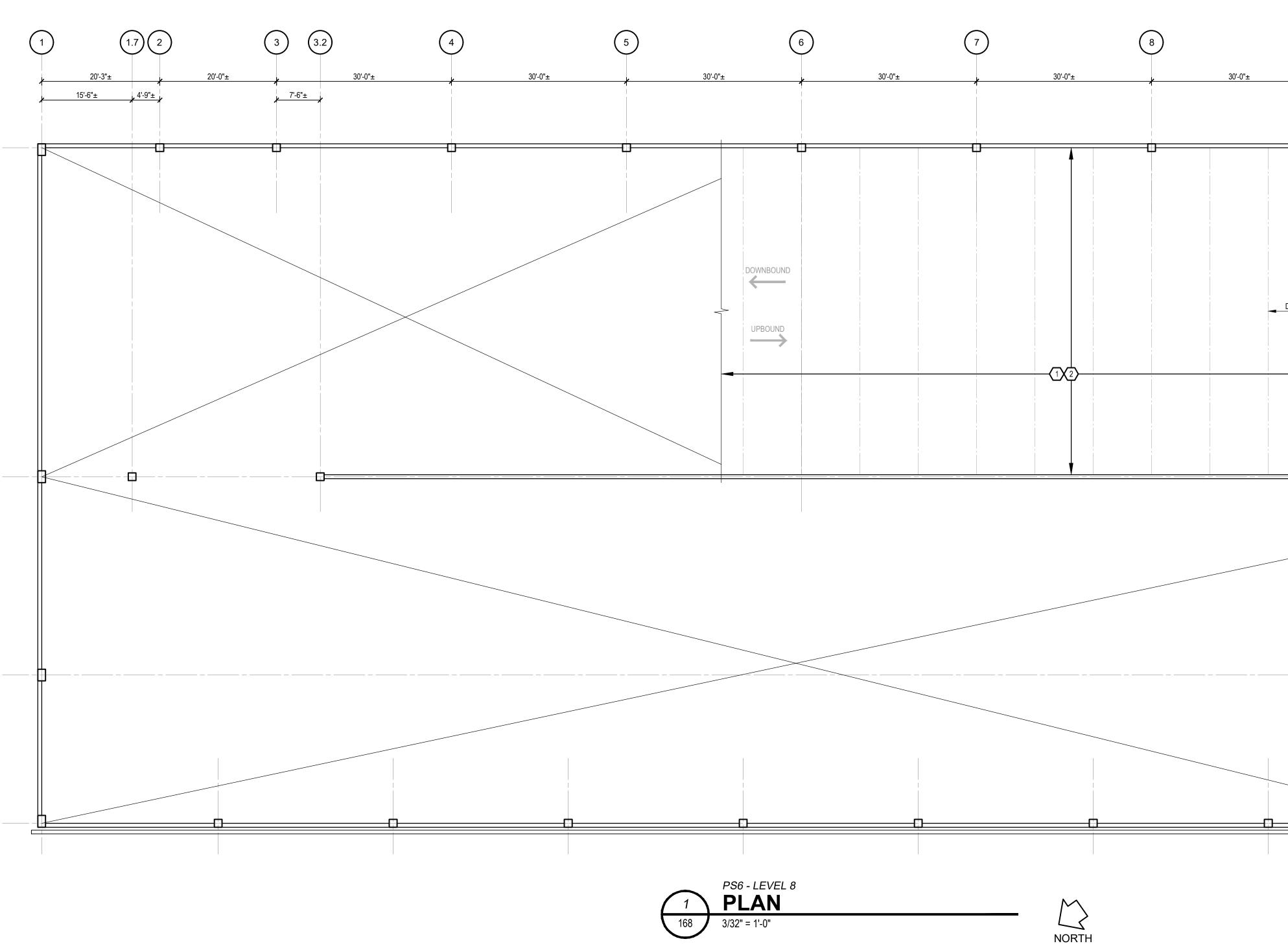
- NOT NECESSARILY APPEAR ON EACH DRAWING.
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- E. GARAGE IS CONSTRUCTED WITH PRE-TOPPED PRECAST DOUBLE TEE MEMBERS. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRONS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.

- COMPLETION OF WORK AND TO AREAS AFFECTED, INSTALL NEW PAVEMENT MARKINGS AT LOCATIONS PREVIOUSLY RECORDED. REFER TO SPECIFICATION SECTION 321723.

<u>K</u> E	Y NOTES (161 THROUGH 168):	
1.	UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE SLAB REPAIR OR CAST-IN-PLACE POUR STRIP REPAIR. REFER TO DETAILS 2/401 AND 3/401.	
2.	UNIT PRICE: WHERE APPROVED, PERFORM JOIST BOTTOM CONCRETE REPAIR. REFER TO DETAIL 11/402.	
3.	MASONRY PIER AT CORNER OF GARAGE. REPAIR MASONRY PIER INCLUDING REPOINTING, BRICK UNIT REPLACEMENT, SEALANT INSTALLATION, AND COATING INSTALLATION. REFER TO PHOTO DETAILS 1/701 AND 2/701.	
4.	AT WATER LINE, INSTALL PIPE GUARD AT WALL AND MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 3/701.	
5.	INSTALL MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 4/701.	
6.	PERFORM CONCRETE EPOXY INJECTION AND INSTALL SUPPLEMENTAL STEEL BRACKET AT PERIMETER WALL CONNECTION. REFER TO PHOTO DETAIL 5/701.	
7.	AT DRAIN STACK, REMOVE DETERIORATED CONCRETE AND REPAIR. REFER TO PHOTO DETAIL 6/701.	
8.	UNIT PRICE: AT STAIR STRINGERS, INSTALL SUPPLEMENTAL SUPPORT BEAM BETWEEN DOUBLE TEE STEMS. REFER TO PHOTO DETAIL 7/701.	
9.	DECORATIVE METAL VERTICAL FACADE ELEMENT. INSTALL SUPPLEMENTAL CONNECTIONS BETWEEN CONCRETE WALL AND FACADE ELEMENT. REFER TO PHOTO DETAILS 8/701, 9/702, AND 10/702.	



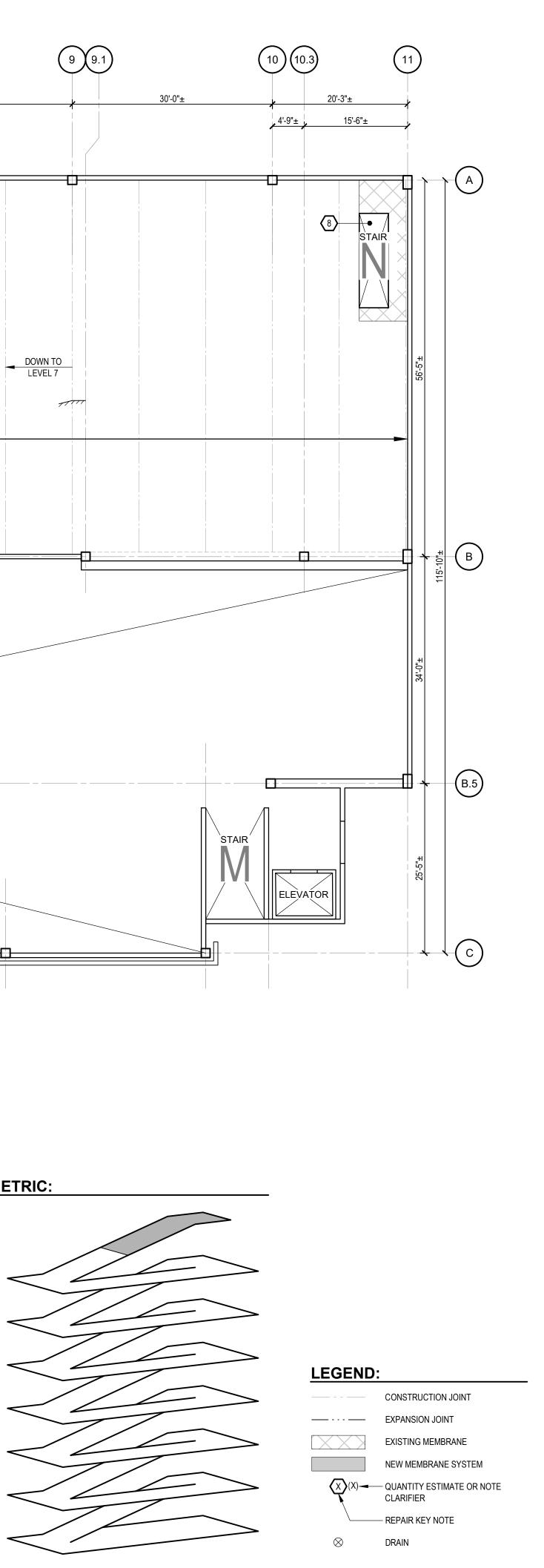
DRAIN

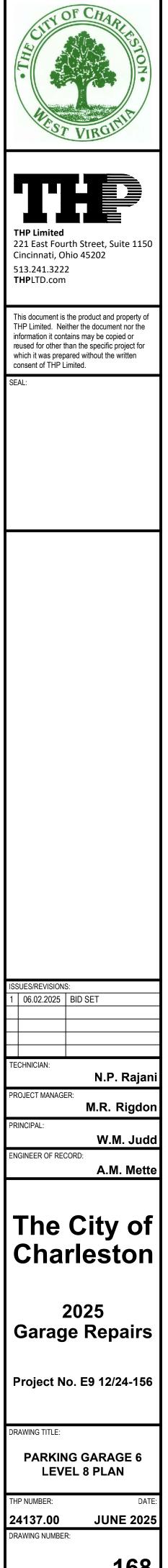


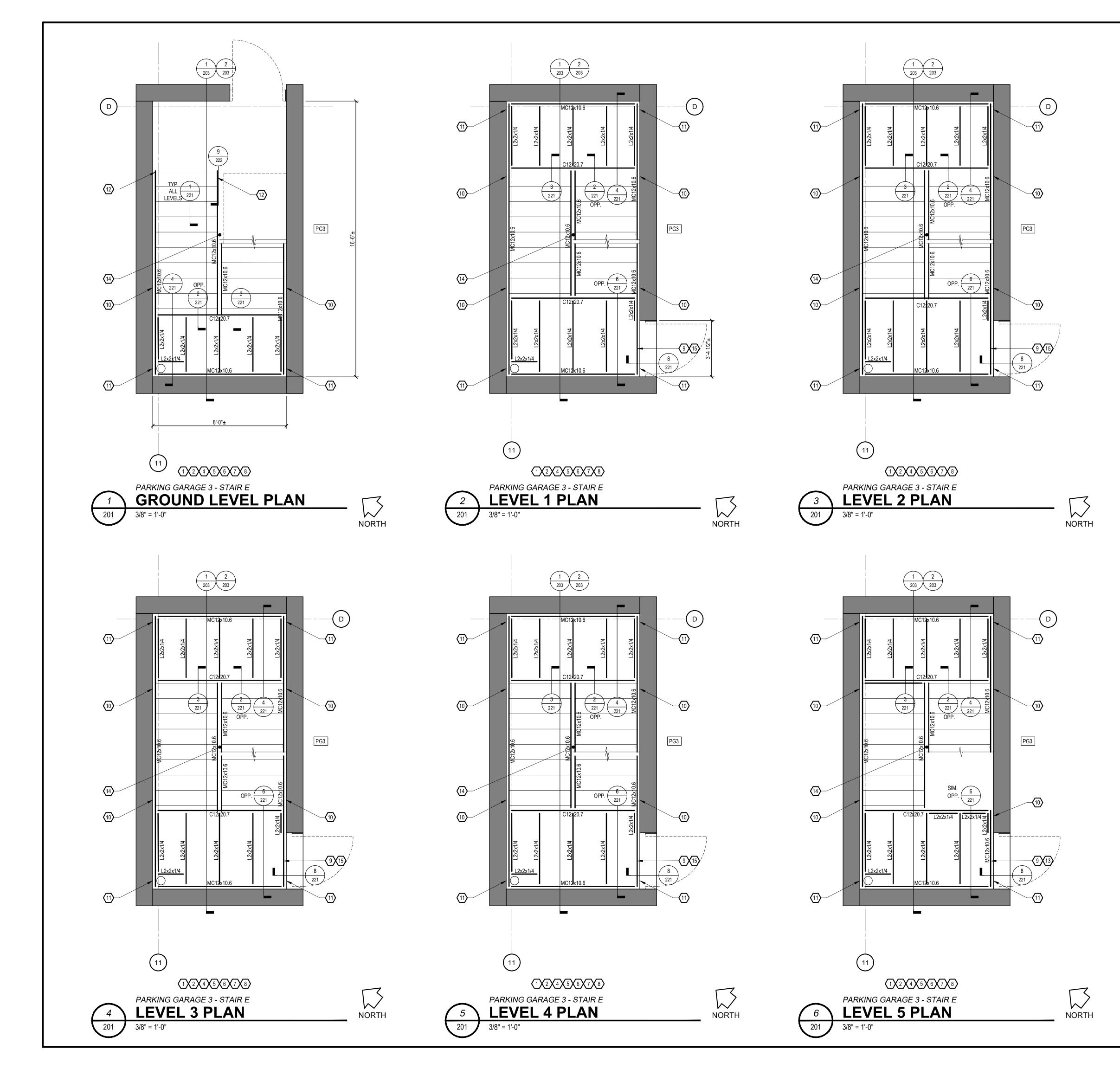
- A. KEY NOTES LISTED BELOW APPLY TO ALL PLAN DRAWINGS FOR PARKING GARAGE. ALL NOTES MAY G. PHASE WORK TO ACCOMMODATE CONTINUOUS TRAFFIC CIRCULATION. ERECT BARRICADES NOT NECESSARILY APPEAR ON EACH DRAWING.
- B. ALL SCOPES OF WORK ARE INTENDED TO BE LUMP SUM ITEMS UNLESS NOTED OTHERWISE AS UNIT PRICE REPAIR OR TIME AND MATERIAL REPAIR.
- C. UNLESS NOTED OTHERWISE, LOCATION OR CALL OUT FOR OVERHEAD WORK IS REFERENCED FROM LEVEL BELOW.
- D. FOR ALL KEY NOTES WITH REFERENCE TO UNIT PRICE WORK, CONTRACTOR TO SURVEY EACH PHASE OF WORK AS PART OF GENERAL CONDITIONS AND REPORT QUANTITIES AND LOCATIONS TO OWNER AND ENGINEER, THEN PERFORM UNIT PRICE WORK WHERE APPROVED.
- E. GARAGE IS CONSTRUCTED WITH PRE-TOPPED PRECAST DOUBLE TEE MEMBERS. LOCATE PRE-STRESSED CABLES AND STEEL REINFORCING PRIOR TO PERFORMING REPAIRS AND DO NOT DAMAGE.
- F. MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO GARAGE ENTRANCES/EXITS, STAIRS, ELEVATORS, AND OCCUPIED SPACES. WORK REQUIRING CLOSURE TO BE COORDINATED WITH PARKING GARAGE MANAGER TWO (2) WEEKS PRIOR. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING GARAGE PATRÓNS SAFELY THROUGH OR AROUND WORK AREAS. REFER TO SPECIFICATION SECTION 015600.
- PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING TRAFFIC SAFELY THROUGH OR / WORK AREAS. AS REQUIRED TO PROTECT PERSONS AND PROPERTY, BLOCK OR RESTRICT A AS NECESSARY TO AREAS BELOW. REFER TO SPECIFICATION SECTIONS 011000 AND 015600. PHASING AND PROPOSED WORK AREAS SHALL BE REVIEWED AND APPROVED BY PARKING G MANAGER.
- H. CONTRACTOR SHALL PROTECT, AS NECESSARY, MEP SYSTEM, EXISTING SPRINKLER HEADS, LIGHTING, VIDEO AND SURVEILLANCE EQUIPMENT, ELEVATORS, AND ALL EXISTING FEATURES NOT DAMAGE. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED FEATURES AS RESULT C INADEQUATE OR IMPROPER PROTECTION TO SATISFACTION OF PARKING GARAGE MANAGER.
- PRIOR TO PERFORMING WORK, LOCATE ALL DRAINS, REVIEW CONDITIONS, AND PROTECT DRA DURING REPAIRS. DRAINS TO REMAIN OPERATIONAL THROUGHOUT DURATION OF PROJECT. TEST DRAINS AT COMPLETION OF PROJECT TO ENSURE ADEQUATE FLOW.
- J. PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERA WORK REMAINS WITHIN WORK AREAS, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS TO PATRONS AND GENERAL PUBLIC. REFER TO SPECIFICATION SECTION 015600.
- K. PRIOR TO BEGINNING WORK, RECORD LOCATION OF ALL EXISTING PAVEMENT MARKINGS. AT COMPLETION OF WORK AND TO AREAS AFFECTED, INSTALL NEW PAVEMENT MARKINGS AT LOCATIONS PREVIOUSLY RECORDED. REFER TO SPECIFICATION SECTION 321723.

ISOMETRIC:

UNIT PRICE: WHERE APPROVED, PERFORM DOUBLE TEE SLAB REPAIR OR CAST-IN-PLACE POUR STRIP REPAIR. REFER TO DETAILS 2/401 AND 3/401.	
UNIT PRICE: WHERE APPROVED, PERFORM JOIST BOTTOM CONCRETE REPAIR. REFER TO DETAIL 11/402.	
MASONRY PIER AT CORNER OF GARAGE. REPAIR MASONRY PIER INCLUDING REPOINTING, BRICK UNIT REPLACEMENT, SEALANT INSTALLATION, AND COATING INSTALLATION. REFER TO PHOTO DETAILS 1/701 AND 2/701.	
AT WATER LINE, INSTALL PIPE GUARD AT WALL AND MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 3/701.	
INSTALL MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 4/701.	
PERFORM CONCRETE EPOXY INJECTION AND INSTALL SUPPLEMENTAL STEEL BRACKET AT PERIMETER WALL CONNECTION. REFER TO PHOTO DETAIL 5/701.	
AT DRAIN STACK, REMOVE DETERIORATED CONCRETE AND REPAIR. REFER TO PHOTO DETAIL 6/701.	
UNIT PRICE: AT STAIR STRINGERS, INSTALL SUPPLEMENTAL SUPPORT BEAM BETWEEN DOUBLE TEE STEMS. REFER TO PHOTO DETAIL 7/701.	
DECORATIVE METAL VERTICAL FACADE ELEMENT. INSTALL SUPPLEMENTAL CONNECTIONS BETWEEN CONCRETE WALL AND FACADE ELEMENT. REFER TO PHOTO DETAILS 8/701, 9/702, AND 10/702.	
	UNIT PRICE: WHERE APPROVED, PERFORM JOIST BOTTOM CONCRETE REPAIR. REFER TO DETAIL 11/402. MASONRY PIER AT CORNER OF GARAGE. REPAIR MASONRY PIER INCLUDING REPOINTING, BRICK UNIT REPLACEMENT, SEALANT INSTALLATION, AND COATING INSTALLATION. REFER TO PHOTO DETAILS 1/701 AND 2/701. AT WATER LINE, INSTALL PIPE GUARD AT WALL AND MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 3/701. INSTALL MEDIUM DUTY MEMBRANE PATCH AT FLOOR SLAB DRAIN. REFER TO PHOTO DETAIL 4/701. PERFORM CONCRETE EPOXY INJECTION AND INSTALL SUPPLEMENTAL STEEL BRACKET AT PERIMETER WALL CONNECTION. REFER TO PHOTO DETAIL 5/701. AT DRAIN STACK, REMOVE DETERIORATED CONCRETE AND REPAIR. REFER TO PHOTO DETAIL 6/701. UNIT PRICE: AT STAIR STRINGERS, INSTALL SUPPLEMENTAL SUPPORT BEAM BETWEEN DOUBLE TEE STEMS. REFER TO PHOTO DETAIL 7/701.







KEY NOTES:

- 1. ALL EXISTING STAIR STEEL TREADS/RISERS, STRINGERS, LANDINGS, RAILINGS, AND SUPPORT ANGLES TO BE REMOVED FOR REPLACEMENT.
- 2. EXISTING HANDRAIL MOUNTED TO THE PRECAST CONCRETE WALL PANEL TO BE REPLACED. REFER TO DETAILS ON DRAWINGS 221 AND 222.
- 3. NOT USED.
- 4. INSTALL NEW GALVANIZED STEEL TREADS/RISERS, STRINGERS, LANDINGS, AND SUPPORT ANGLES. REFER TO DETAILS ON DRAWING 221 AND 222.
- 5. REPAIR STAIR WALLS, CURTAINWALL, LIGHTING, DOOR, PAINTING, DRAIN STACKS, ETC. AS SHOWN ON DETAILS 1 AND 2 ON DRAWING 203.
- 6. INSTALL NEW GALVANIZED STEEL RAILING SYSTEM AT STAIR STRINGERS AND LANDINGS. REFER TO DETAILS 1 AND 2 ON DRAWING 203.
- NEW STEEL RAILING, UNDERSIDE OF TREADS/RISERS AND LANDINGS TO RECEIVE HIGH-PERFORMANCE COATING. CONTRACTOR RESPONSIBLE TO ABRADE AND ETCH THE GALVANIZING AS REQUIRED FOR COATING INSTALLATION. REFER TO SPECIFICATION SECTION 099100.
- 8. TOPSIDE OF NEW STEEL TREADS/RISERS AND LANDINGS TO RECEIVE EPOXY TRACTION MEMBRANE. REFER TO DETAIL 1 ON DRAWING 221.
- 9. COPE TOP FLANGE OF STRINGER TO AVOID DOOR OPENING. REFER TO DETAIL 6 ON DRAWING 221.
- 10. INSTALL STRINGER SUPPORT AT TOP AND BOTTOM OF CHANNEL. REFER TO DETAILS ON DRAWINGS 221 AND 222.
- 11. INSTALL STRINGER SUPPORT AT BOTTOM OF CHANNEL. REFER TO DETAILS ON DRAWINGS 221 AND 222.
- 12. INSTALL STRINGER SUPPORT SINGLE ANGLE AT STAIR BOTTOM. REFER TO DETAIL 9 ON DRAWING 222.
- 13. CHANNEL END MEMBER FOR TOP LANDING. REFER TO SIMILAR DETAIL 6 ON DRAWING 221.
- 14. EXISTING STRINGER WITH SEPARATION. NEW STAIR TO HAVE STRINGERS WITH 0" SPACING AS NOTED.
- 15. FLOOR PLATE AND DOOR OPENING TRANSITION. REFER TO DETAIL 8 ON DRAWING 221.

<u>NOTE:</u> CONTRACTOR RESPONSIBLE TO FULLY DEVELOP STAIR SHOP DRAWINGS. CONTRACTOR TO MEASURE ALL EXISTING DIMENSIONS AND ELEVATIONS TO DEVELOP THE SHOP DRAWINGS. EXISTING LAYOUT DIMENSIONS SHOULD BE MAINTAINED EXCEPT WHERE INDICATED AND AT STAIR TREADS IN ORDER TO MAINTAIN UNIFORM HEIGHT TO MEET BUILDING CODE REQUIREMENTS.





THP Limited 221 East Fourth Street, Suite 1150 Cincinnati, Ohio 45202 513.241.3222 THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited. SEAL:

		-	
	ES/REVISION 06.02.2025	S: BID SET	
_			
ECH	INICIAN:	N.P	. Rajani
ROJ	JECT MANAG		Rigdon
RIN	CIPAL:		
		W .	M. Judd
NGI	NEER OF REG	CORD:	M. Judd M. Mette
NGI	NEER OF RE	CORD:	
		CORD:	M. Mette
	he	CORD: A.M City	M. Mette
	he	CORD:	M. Mette
	'he Cha	Cord: A.M City rles	M. Mette
TC	he Cha	City rles	M. Mette / of ton
TC	he Cha	Cord: A.M City rles	M. Mette / of ton
G	he Cha	City rles	<u>A. Mette</u> of don

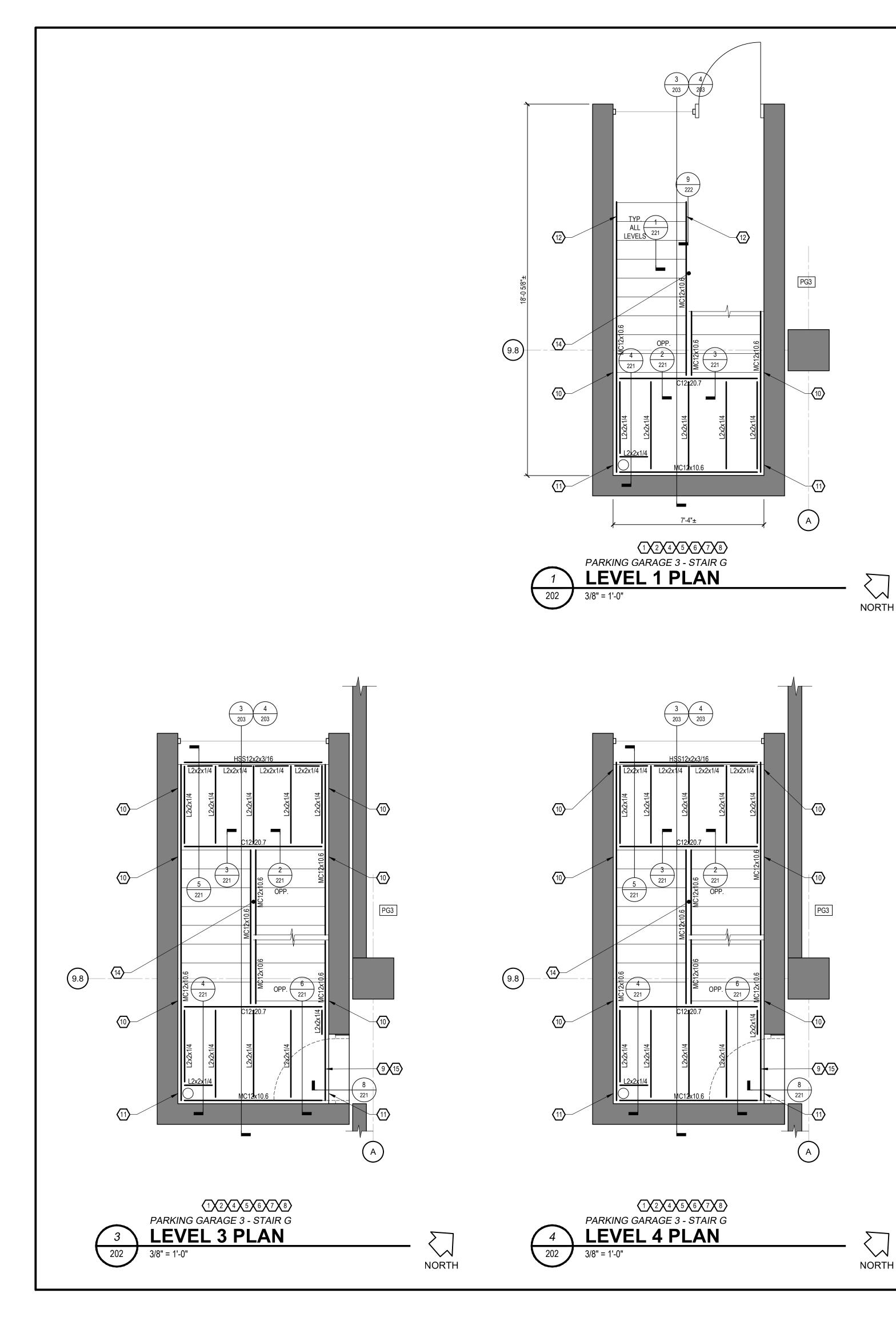
AWING	TITLE:

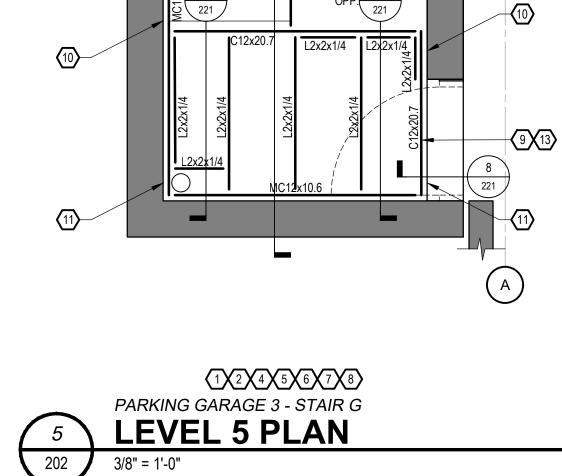
PARKING GARAGE 3 STAIR E PLANS

 THP NUMBER:
 DATE

 24137.00
 JUNE 2025

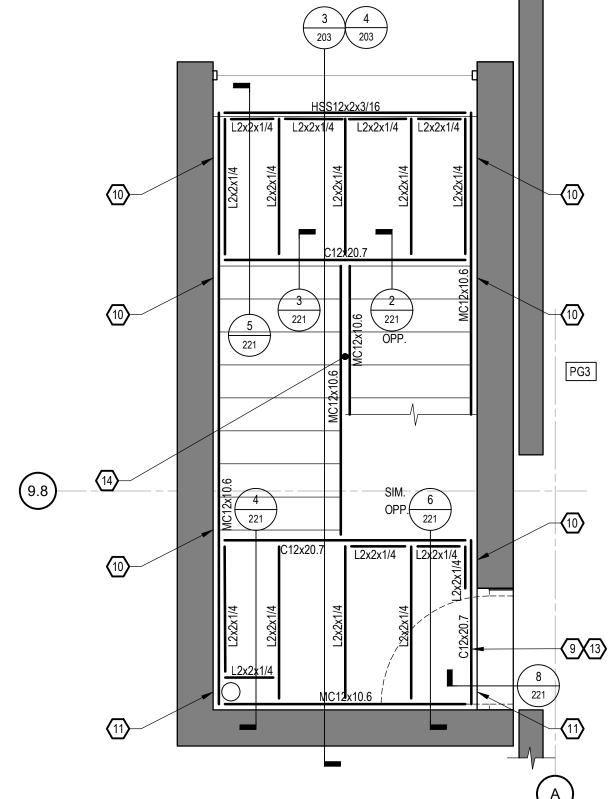
 DRAWING NUMBER:
 Image: Comparison of the second sec



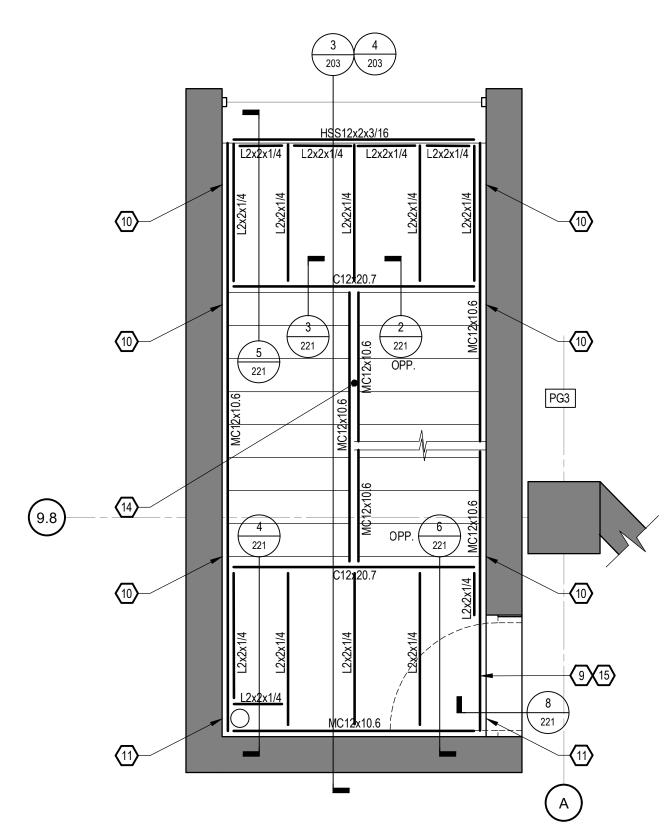


 $\langle \rangle$

NORTH







KEY NOTES:

- 1. ALL EXISTING STAIR STEEL TREADS/RISERS, STRINGERS, LANDINGS, RAILINGS, AND SUPPORT ANGLES TO BE REMOVED FOR REPLACEMENT.
- 2. EXISTING HANDRAIL MOUNTED TO THE PRECAST CONCRETE WALL PANEL TO BE REPLACED. REFER TO DETAILS ON DRAWINGS 221 AND 222.
- 3. NOT USED.
- 4. INSTALL NEW GALVANIZED STEEL TREADS/RISERS, STRINGERS, LANDINGS, AND SUPPORT ANGLES. REFER TO DETAILS ON DRAWING 221 AND 222.
- 5. REPAIR STAIR WALLS, CURTAINWALL, LIGHTING, DOOR, PAINTING, DRAIN STACKS, ETC. AS SHOWN ON DETAILS 1 AND 2 ON DRAWING 203.
- 6. INSTALL NEW GALVANIZED STEEL RAILING SYSTEM AT STAIR STRINGERS AND LANDINGS. REFER TO DETAILS 1 AND 2 ON DRAWING 203.
- 7. NEW STEEL RAILING, UNDERSIDE OF TREADS/RISERS AND LANDINGS TO RECEIVE HIGH-PERFORMANCE COATING. CONTRACTOR RESPONSIBLE TO ABRADE AND ETCH THE GALVANIZING AS REQUIRED FOR COATING INSTALLATION. REFER TO SPECIFICATION SECTION 099100.
- 8. TOPSIDE OF NEW STEEL TREADS/RISERS AND LANDINGS TO RECEIVE EPOXY TRACTION MEMBRANE. REFER TO DETAIL 1 ON DRAWING 221.
- 9. COPE TOP FLANGE OF STRINGER TO AVOID DOOR OPENING. REFER TO DETAIL 6 ON DRAWING 221.
- 10. INSTALL STRINGER SUPPORT AT TOP AND BOTTOM OF CHANNEL. REFER TO DETAILS ON DRAWINGS 221 AND 222.
- 11. INSTALL STRINGER SUPPORT AT BOTTOM OF CHANNEL. REFER TO DETAILS ON DRAWINGS 221 AND 222.
- 12. INSTALL STRINGER SUPPORT SINGLE ANGLE AT STAIR BOTTOM. REFER TO DETAIL 9 ON DRAWING 222.
- 13. CHANNEL END MEMBER FOR TOP LANDING. REFER TO SIMILAR DETAIL 6 ON DRAWING 221.
- 14. EXISTING STRINGER WITH SEPARATION. NEW STAIR TO HAVE STRINGERS WITH 0" SPACING AS NOTED.
- 15. FLOOR PLATE AND DOOR OPENING TRANSITION. REFER TO DETAIL 8 ON DRAWING 221.

NOTE: CONTRACTOR RESPONSIBLE TO FULLY DEVELOP STAIR SHOP DRAWINGS. CONTRACTOR TO MEASURE ALL EXISTING DIMENSIONS AND ELEVATIONS TO DEVELOP THE SHOP DRAWINGS. EXISTING LAYOUT DIMENSIONS SHOULD BE MAINTAINED EXCEPT WHERE INDICATED AND AT STAIR TREADS IN ORDER TO MAINTAIN UNIFORM HEIGHT TO MEET BUILDING CODE REQUIREMENTS.





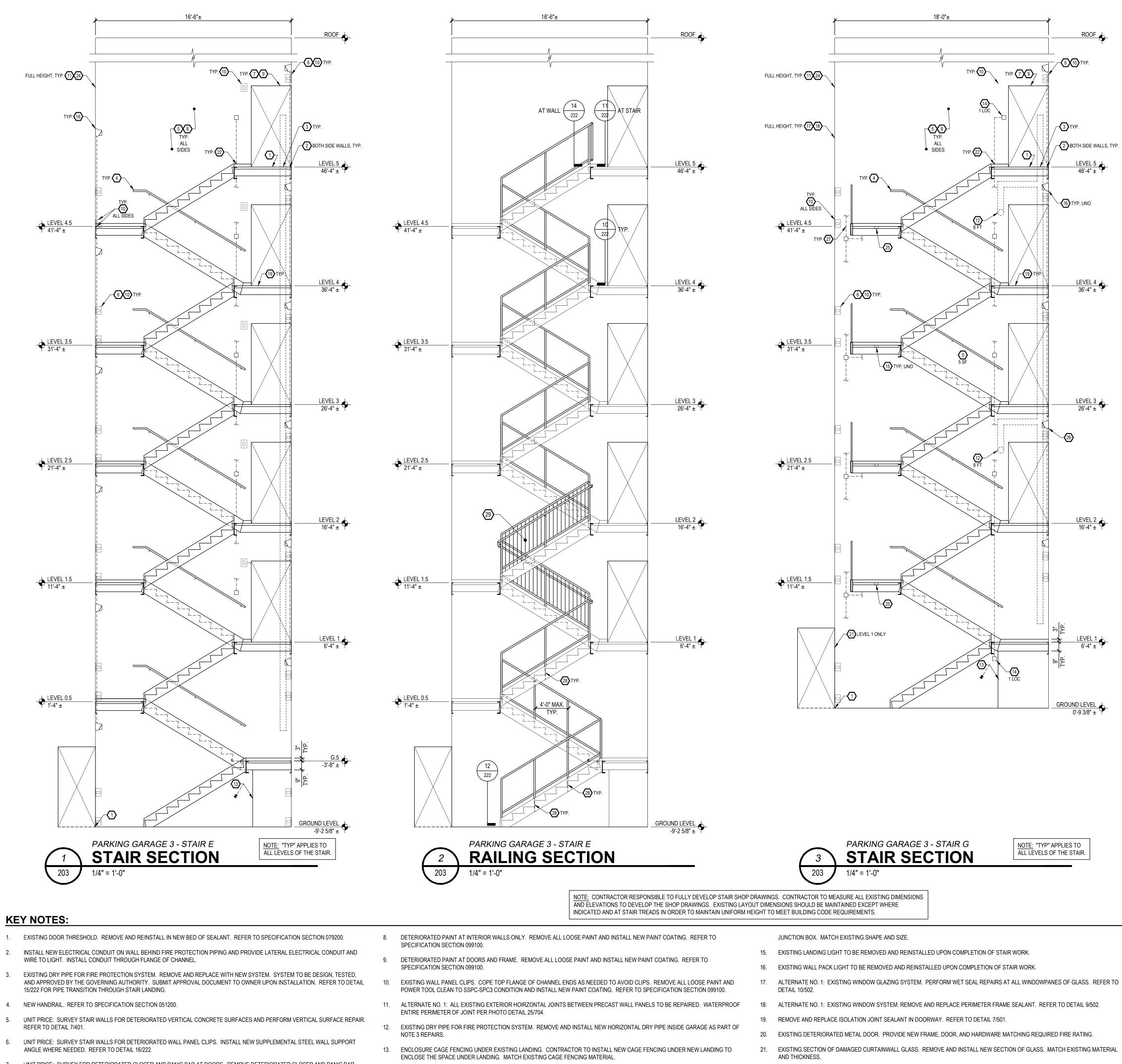
THP Limited 221 East Fourth Street, Suite 1150 Cincinnati, Ohio 45202 513.241.3222 THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited. SEAL:

SSUES/REVISION	S:				
06.02.2025	BID SET				
ECHNICIAN:	N.P. Rajani				
ROJECT MANAG					
PRINCIPAL:	W.M. Judd				
NGINEER OF REC	CORD: A.M. Mette				
The City of Charleston					
Cha					
Garag	rleston				

PARKING GARAGE 3 STAIR G PLANS

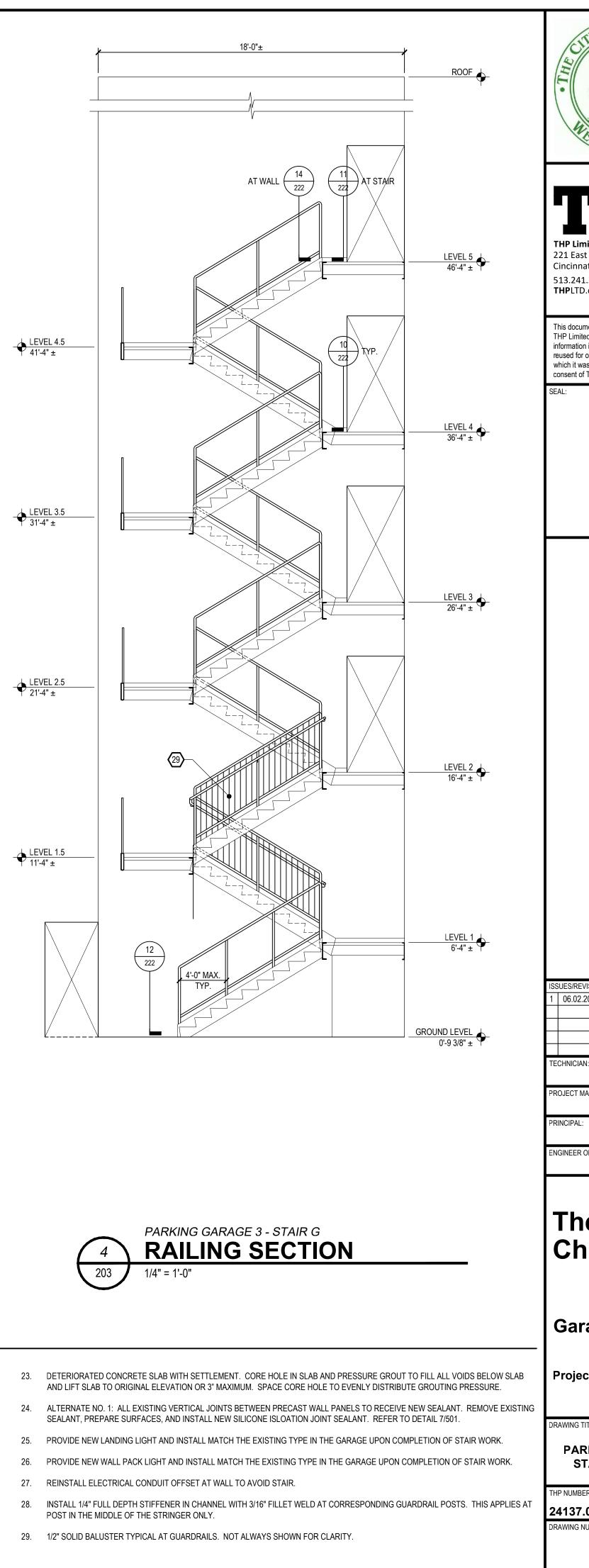
THP NUMBER: 24137.00 JUNE 2025 RAWING NUMBER:

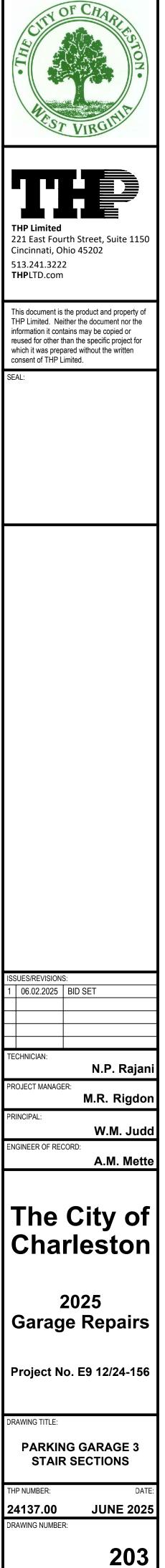


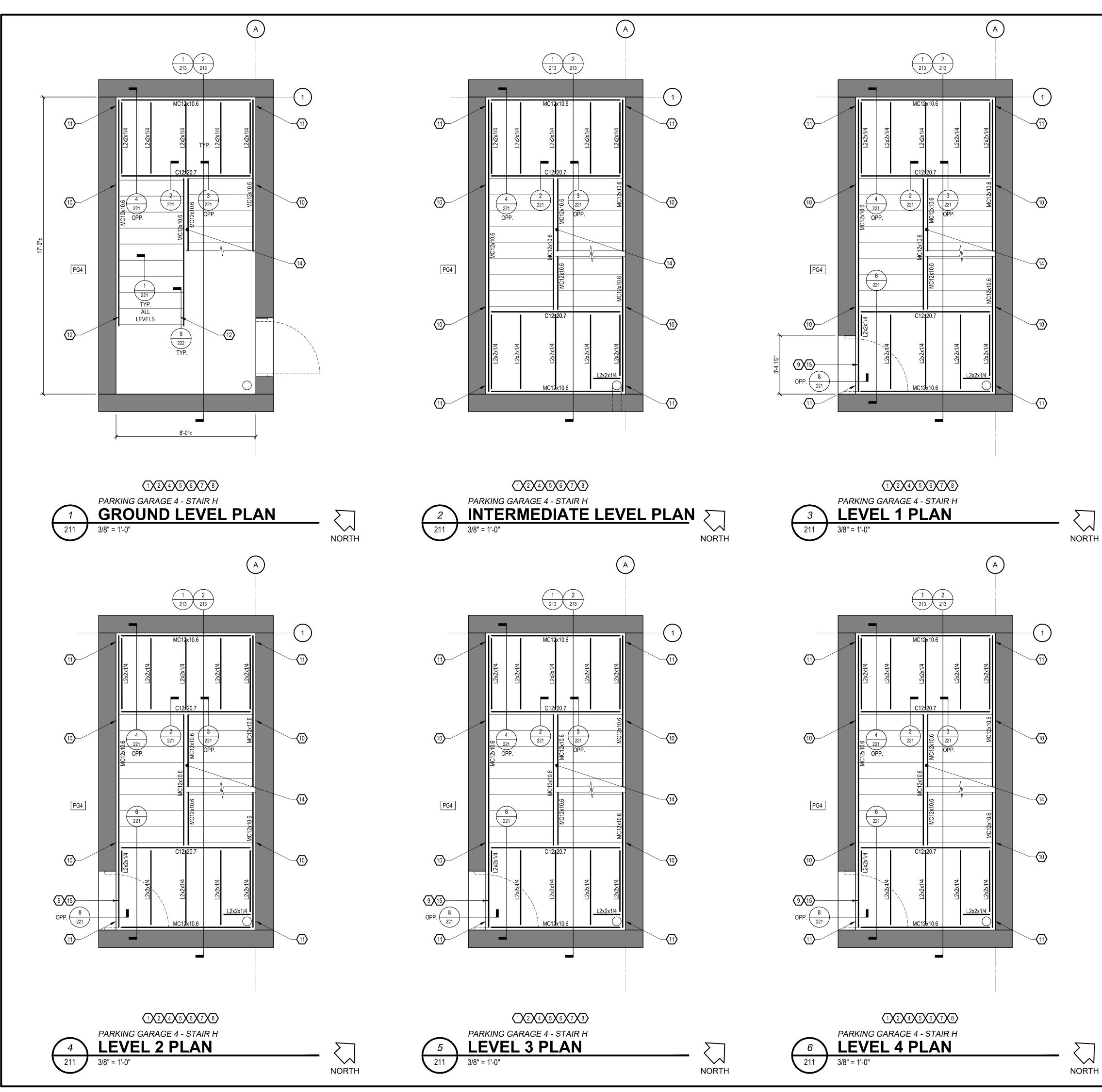
- UNIT PRICE: SURVEY FOR DETERIORATED CLOSER AND PANIC BAR AT DOORS. REMOVE DETERIORATED CLOSER AND PANIC BAR AND INSTALL NEW CLOSER AND PANIC BAR. MATCH EXISTING SHAPE AND SIZE. REFER TO SPECIFICATION SECTION 087100.

14. EXISTING ELECTRICAL JUNCTION BOX. VERIFY ELECTRIC IS NOT LIVE PRIOR TO WORK. REMOVE AND INSTALL NEW ELECTRICAL

22. EXISTING ELECTRICAL CONDUIT. COPE NEW STEEL CHANNEL FLANGES AS NEEDED TO AVOID ELECTRICAL CONDUIT.



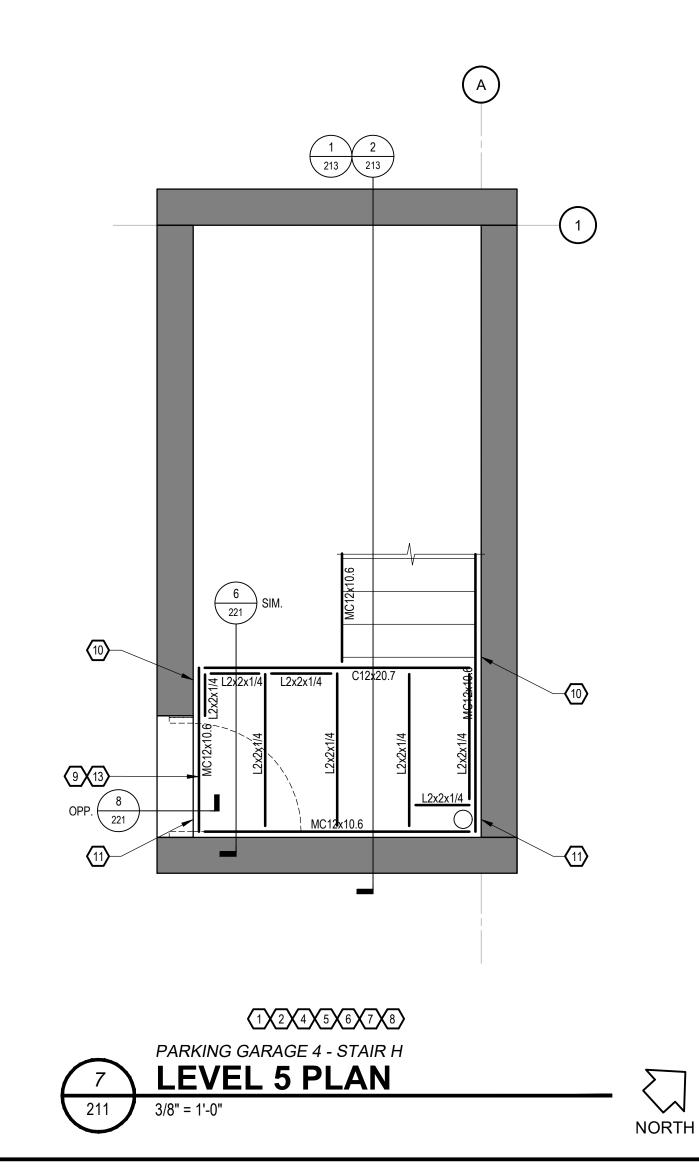


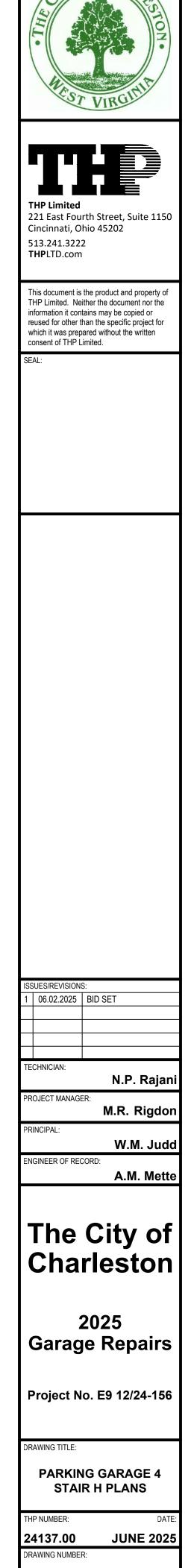


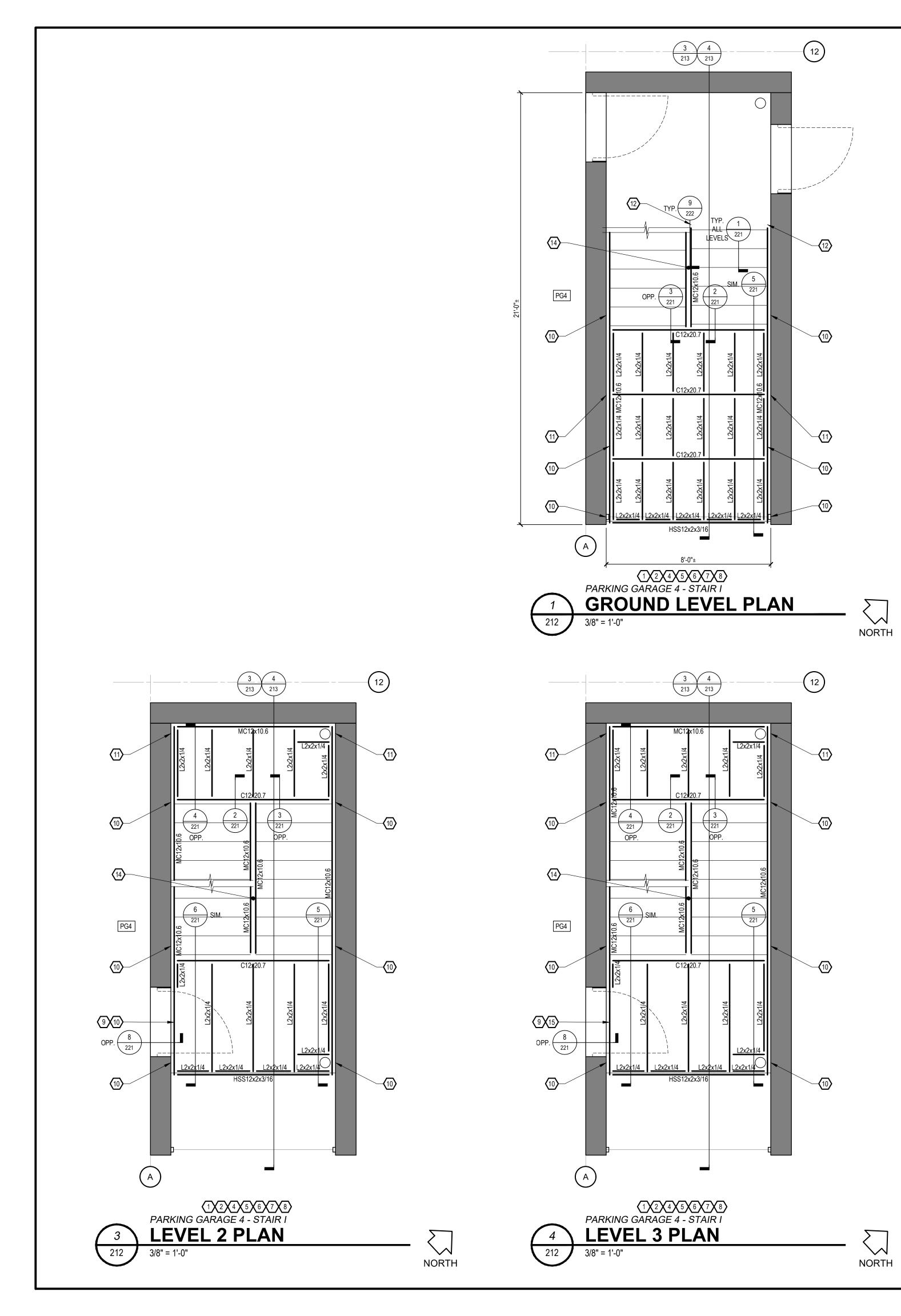
KEY NOTES:

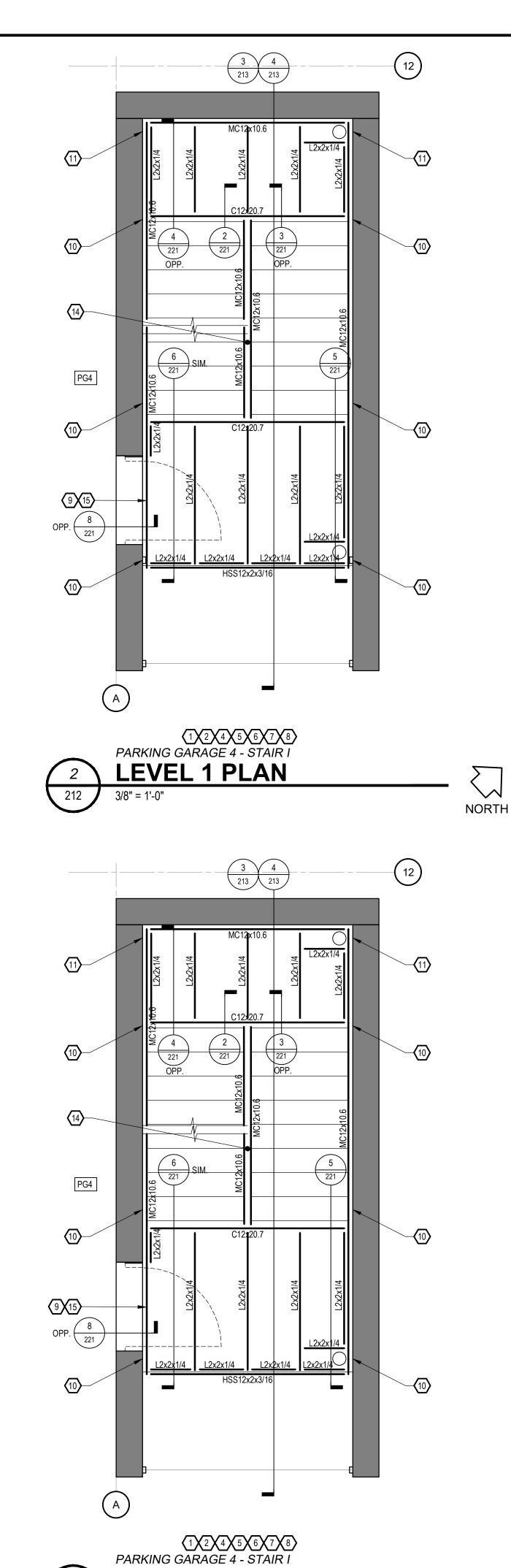
- 1. ALL EXISTING STAIR STEEL TREADS/RISERS, STRINGERS, LANDINGS, RAILINGS, AND SUPPORT ANGLES TO BE REMOVED FOR REPLACEMENT.
- 2. EXISTING HANDRAIL MOUNTED TO THE PRECAST CONCRETE WALL PANEL TO BE REPLACED. REFER TO DETAILS ON DRAWINGS 221 AND 222.
- 3. NOT USED.
- 4. INSTALL NEW GALVANIZED STEEL TREADS/RISERS, STRINGERS, LANDINGS, AND SUPPORT ANGLES. REFER TO DETAILS ON DRAWING 221 AND 222.
- 5. REPAIR STAIR WALLS, CURTAINWALL, LIGHTING, DOOR, PAINTING, DRAIN STACKS, ETC. AS SHOWN ON DETAILS 1 AND 2 ON DRAWING 213.
- 6. INSTALL NEW GALVANIZED STEEL RAILING SYSTEM AT STAIR STRINGERS AND LANDINGS. REFER TO DETAILS 1 AND 2 ON DRAWING 213.
- 7. NEW STEEL RAILING, UNDERSIDE OF TREADS/RISERS AND LANDINGS TO RECEIVE HIGH-PERFORMANCE COATING. CONTRACTOR RESPONSIBLE TO ABRADE AND ETCH THE GALVANIZING AS REQUIRED FOR COATING INSTALLATION. REFER TO SPECIFICATION SECTION 099100.
- 8. TOPSIDE OF NEW STEEL TREADS/RISERS AND LANDINGS TO RECEIVE EPOXY TRACTION MEMBRANE. REFER TO DETAIL 1 ON DRAWING 221.
- 9. COPE TOP FLANGE OF STRINGER TO AVOID DOOR OPENING. REFER TO DETAIL 6 ON DRAWING 221.
- 10. INSTALL STRINGER SUPPORT AT TOP AND BOTTOM OF CHANNEL. REFER TO DETAILS ON DRAWINGS 221 AND 222.
- 11. INSTALL STRINGER SUPPORT AT BOTTOM OF CHANNEL. REFER TO DETAILS ON DRAWINGS 221 AND 222.
- 12. INSTALL STRINGER SUPPORT SINGLE ANGLE AT STAIR BOTTOM. REFER TO DETAIL 9 ON DRAWING 222.
- 13. CHANNEL END MEMBER FOR TOP LANDING. REFER TO SIMILAR DETAIL 6 ON DRAWING 221.
- 14. EXISTING STRINGER WITH SEPARATION. NEW STAIR TO HAVE STRINGERS WITH 0" SPACING AS NOTED.
- 15. FLOOR PLATE AND DOOR OPENING TRANSITION. REFER TO DETAIL 8 ON DRAWING 221.

NOTE: CONTRACTOR RESPONSIBLE TO FULLY DEVELOP STAIR SHOP DRAWINGS. CONTRACTOR TO MEASURE ALL EXISTING DIMENSIONS AND ELEVATIONS TO DEVELOP THE SHOP DRAWINGS. EXISTING LAYOUT DIMENSIONS SHOULD BE MAINTAINED EXCEPT WHERE INDICATED AND AT STAIR TREADS IN ORDER TO MAINTAIN UNIFORM HEIGHT TO MEET BUILDING CODE REQUIREMENTS.









LEVEL 4 PLAN

5

212

3/8" = 1'-0"

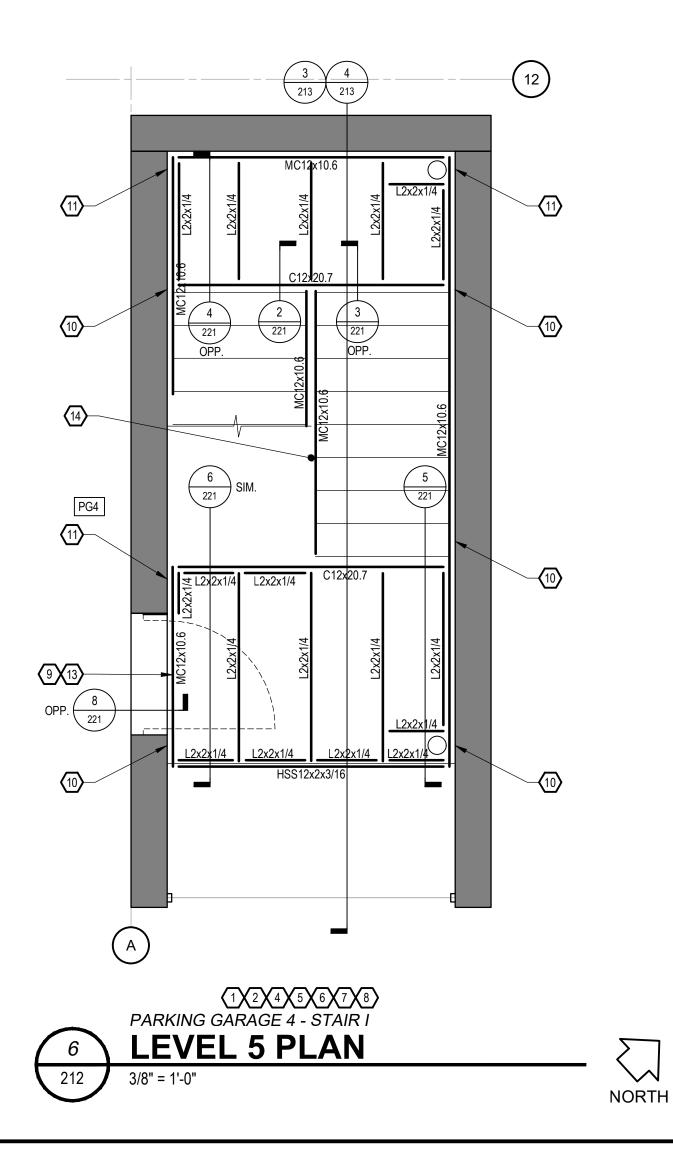
 \sim NORTH

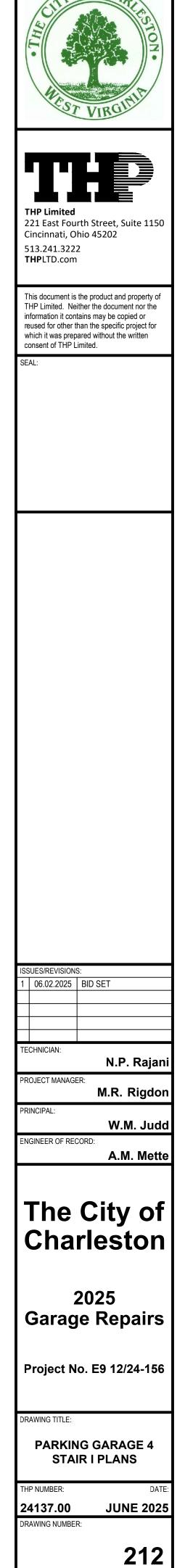
 \searrow

KEY NOTES:

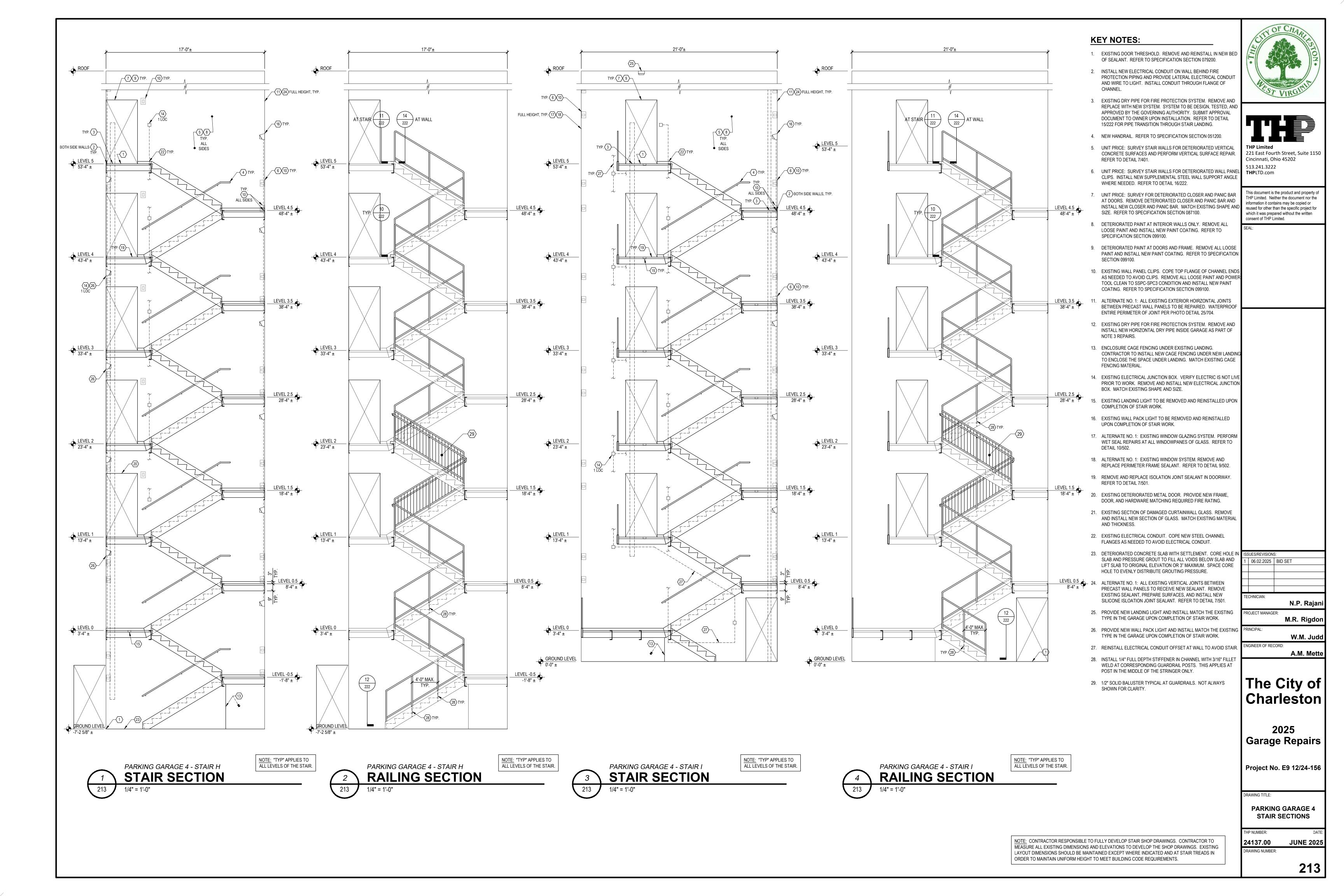
- 1. ALL EXISTING STAIR STEEL TREADS/RISERS, STRINGERS, LANDINGS, RAILINGS, AND SUPPORT ANGLES TO BE REMOVED FOR REPLACEMENT.
- 2. EXISTING HANDRAIL MOUNTED TO THE PRECAST CONCRETE WALL PANEL TO BE REPLACED. REFER TO DETAILS ON DRAWINGS 221 AND 222.
- 3. NOT USED.
- 4. INSTALL NEW GALVANIZED STEEL TREADS/RISERS, STRINGERS, LANDINGS, AND SUPPORT ANGLES. REFER TO DETAILS ON DRAWING 221 AND 222.
- 5. REPAIR STAIR WALLS, CURTAINWALL, LIGHTING, DOOR, PAINTING, DRAIN STACKS, ETC. AS SHOWN ON DETAILS 1 AND 2 ON DRAWING 213.
- 6. INSTALL NEW GALVANIZED STEEL RAILING SYSTEM AT STAIR STRINGERS AND LANDINGS. REFER TO DETAILS 1 AND 2 ON DRAWING 213.
- 7. NEW STEEL RAILING, UNDERSIDE OF TREADS/RISERS AND LANDINGS TO RECEIVE HIGH-PERFORMANCE COATING. CONTRACTOR RESPONSIBLE TO ABRADE AND ETCH THE GALVANIZING AS REQUIRED FOR COATING INSTALLATION. REFER TO SPECIFICATION SECTION 099100.
- 8. TOPSIDE OF NEW STEEL TREADS/RISERS AND LANDINGS TO RECEIVE EPOXY TRACTION MEMBRANE. REFER TO DETAIL 1 ON DRAWING 221.
- 9. COPE TOP FLANGE OF STRINGER TO AVOID DOOR OPENING. REFER TO DETAIL 6 ON DRAWING 221.
- 10. INSTALL STRINGER SUPPORT AT TOP AND BOTTOM OF CHANNEL. REFER TO DETAILS ON DRAWINGS 221 AND 222.
- 11. INSTALL STRINGER SUPPORT AT BOTTOM OF CHANNEL. REFER TO DETAILS ON DRAWINGS 221 AND 222.
- 12. INSTALL STRINGER SUPPORT SINGLE ANGLE AT STAIR BOTTOM. REFER TO DETAIL 9 ON DRAWING 222.
- 13. CHANNEL END MEMBER FOR TOP LANDING. REFER TO SIMILAR DETAIL 6 ON DRAWING 221.
- 14. EXISTING STRINGER WITH SEPARATION. NEW STAIR TO HAVE STRINGERS WITH 0" SPACING AS NOTED.
- 15. FLOOR PLATE AND DOOR OPENING TRANSITION. REFER TO DETAIL 8 ON DRAWING 221.

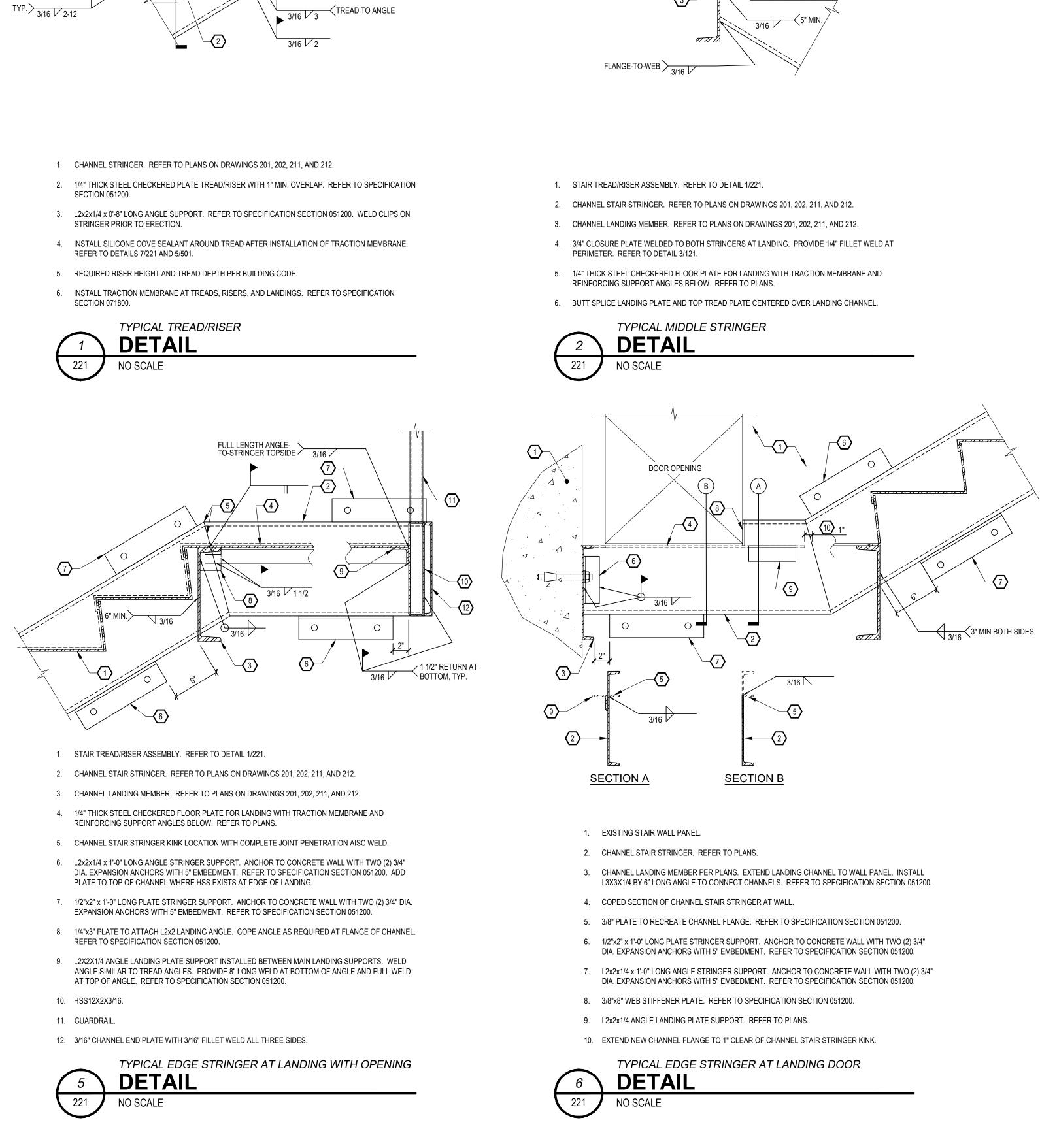
NOTE: CONTRACTOR RESPONSIBLE TO FULLY DEVELOP STAIR SHOP DRAWINGS. CONTRACTOR TO MEASURE ALL EXISTING DIMENSIONS AND ELEVATIONS TO DEVELOP THE SHOP DRAWINGS. EXISTING LAYOUT DIMENSIONS SHOULD BE MAINTAINED EXCEPT WHERE INDICATED AND AT STAIR TREADS IN ORDER TO MAINTAIN UNIFORM HEIGHT TO MEET BUILDING CODE REQUIREMENTS.





 \searrow





✓ 1 1/2" RETURN AT

BOTTOM, TYP.

3/16

TYP. $\begin{pmatrix} 7 \\ 221 \end{pmatrix}$

5 TYP.

3/16

5

n n n n n n k h

3

6

NOTE:

(1)-

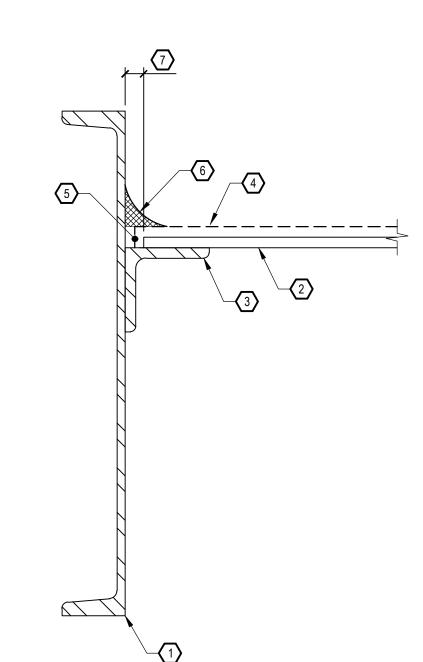
Ŋᡃᠵ*ᠵᠵᡵ᠊ᡵᠲᡄ᠗ᠲᡄᢛ᠊ᡵᠲ*ᡓ

RAIL PICKETS NOT

SHOWN FOR CLARITY.

TYPICAL TREAD/LANDING SUPPORT ANGLE DETAIL 221 NO SCALE

- 7. MAXIMUM DISTANCE BETWEEN STRINGER AND EDGE OF TREAD IS 3/8".
- 5. FILL GAP BETWEEN ANGLE WELD AND TREAD/LANDING PLATE WITH TRACTION MEMBRANE SYSTEM. 6. INSTALL SILICONE COVE SEALANT AROUND TREAD AFTER INSTALLATION OF MEMBRANE. REFER TO DETAIL 5/501.
- SECTION 071800.
- ERECTION. 4. INSTALL TRACTION MEMBRANE AT TREADS, RISERS, AND LANDINGS. REFER TO SPECIFICATION
- 3. L2x2x1/4 x 0'-8" LONG ANGLE SUPPORT. REFER TO DETAIL 1/221. WELD CLIPS ON STRINGER PRIOR TO
- 2. 1/4" THICK STEEL CHECKERED PLATE TREAD/RISER. REFER TO SPECIFICATION SECTION 051200.
- 1. CHANNEL STRINGER. REFER TO PLANS ON DRAWINGS 201, 202, 211, AND 212.

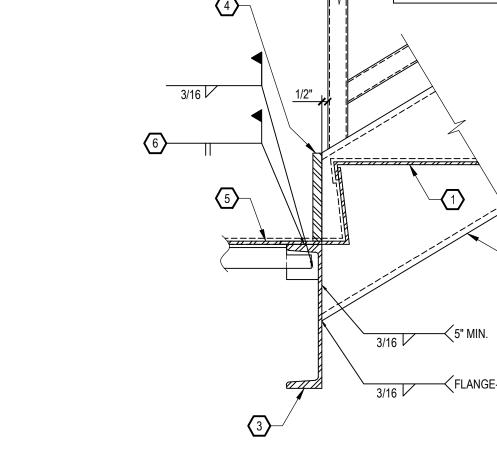


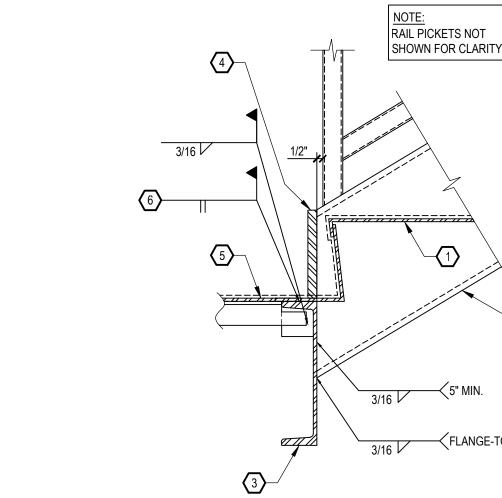
TYPICAL MIDDLE STRINGER DETAIL - 3 221 NO SCALE

- 6. BUTT SPLICE LANDING PLATE AND TOP TREAD PLATE CENTERED OVER LANDING CHANNEL.
- REINFORCING SUPPORT ANGLES BELOW. REFER TO PLANS.
- PERIMETER. REFER TO DETAIL 3/121. 5. 1/4" THICK STEEL CHECKERED FLOOR PLATE FOR LANDING WITH TRACTION MEMBRANE AND
- 4. 3/4" CLOSURE PLATE WELDED TO BOTH STRINGERS AT LANDING. PROVIDE 1/4" FILLET WELD AT

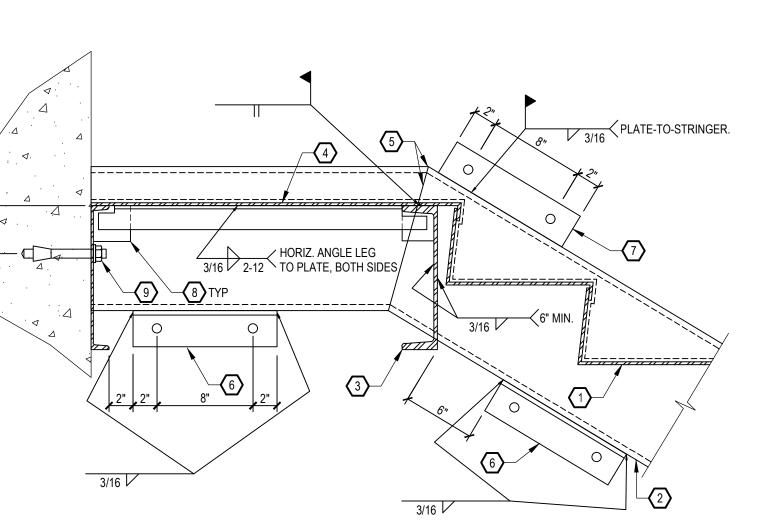
- 3. CHANNEL LANDING MEMBER. REFER TO PLANS ON DRAWINGS 201, 202, 211, AND 212.
- 2. CHANNEL STAIR STRINGER. REFER TO PLANS ON DRAWINGS 201, 202, 211, AND 212.

- 1. STAIR TREAD/RISER ASSEMBLY. REFER TO DETAIL 1/221.









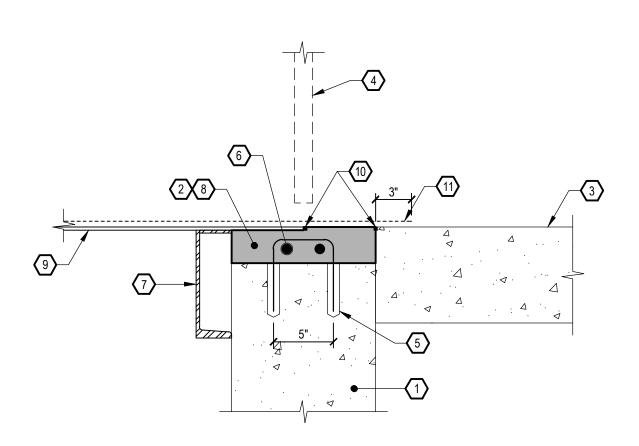
- 1. STAIR TREAD/RISER ASSEMBLY. REFER TO DETAIL 1/221.
- 2. CHANNEL STAIR STRINGER. REFER TO PLANS ON DRAWINGS 201, 202, 211, AND 212.
- 3. CHANNEL LANDING MEMBER. REFER TO PLANS ON DRAWINGS 201, 202, 211, AND 212.
- 4. 1/4" THICK STEEL CHECKERED FLOOR PLATE FOR LANDING WITH TRACTION MEMBRANE AND REINFORCING SUPPORT ANGLES BELOW. REFER TO PLANS.
- 5. CHANNEL STAIR STRINGER KINK LOCATION WITH COMPLETE JOINT PENETRATION AISC WELD.
- 6. L2x2x1/4 x 1'-0" LONG ANGLE STRINGER SUPPORT. ANCHOR TO CONCRETE WALL WITH TWO (2) 3/4" DIA. EXPANSION ANCHORS WITH 5" EMBEDMENT. REFER TO SPECIFICATION SECTION 051200.
- 7. 1/2"x2" x 1'-0" LONG PLATE STRINGER SUPPORT. ANCHOR TO CONCRETE WALL WITH TWO (2) 3/4" DIA.
- 8. 1/4"x3" PLATE TO ATTACH L2x2 LANDING ANGLE. COPE ANGLE AS REQUIRED AT FLANGE OF CHANNEL.
- REFER TO SPECIFICATION SECTION 051200. WELD ANGLE TO PLATE PER DETAIL 5/221. 9. (4) 3/4" x 6" EXPANSION ANCHOR INTO STAIR WALL PANEL EQUALLY SPACED WITH 5" EMBEDMENT.

EXPANSION ANCHORS WITH 5" EMBEDMENT. REFER TO SPECIFICATION SECTION 051200.

REFER TO SPECIFICATION SECTION 051200. END CONNECTION ANGLE NOT SHOWN. SEE DETAIL 6/221.



TYPICAL EDGE STRINGER AT LANDING DETAIL NO SCALE





- 2. ASSUMED REMOVED STAIR LANDING TOPPING SLAB AT TOP OF WALL
- 3. EXISTING GARAGE CURB OR ELEVATOR LANDING.
- 4. STAIR TOWER DOOR.

SECTION 030100.

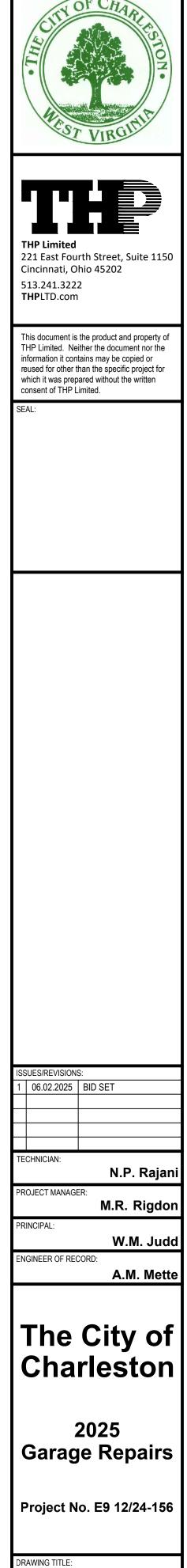
030100.

- 5. #4 EPOXY COAT "U" BARS AT 12" O.C. EPOXY EMBED 4". REFER TO SPECIFICATION SECTION
- 6. (2) #4 EPOXY COATED BARS. REFER TO SPECIFICATION SECTION 030100.
- 7. NEW MODIFIED STRINGER. REFER TO DETAIL 6/221.
- 8. NEW CONCRETE INFILL. NOTCH EDGE TO BEAR LANDING PLATE. REFER TO SPECIFICATION
- 9. NEW 1/4" CHECKERED LANDING PLATE.
- 10. URETHANE CONTROL JOINT SEALANT. REFER TO DETAIL 4/501.
- 11. EXTEND TRACTION MEMBRANE INTO GARAGE / LANDING. REFER TO SPECIFICATION SECTION 030100.

TYPICAL LANDING TO DOOR TRANSITION



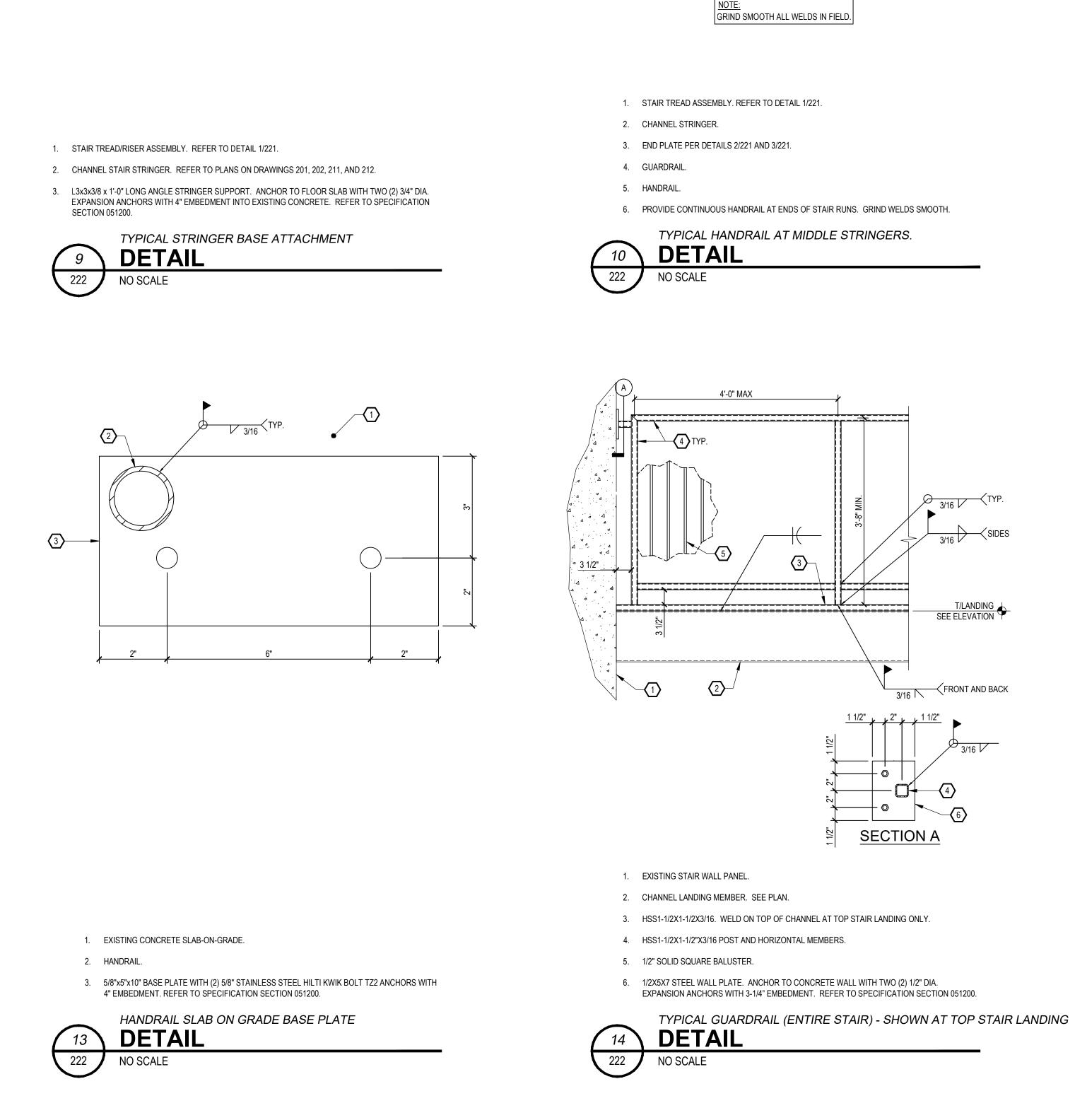
DETAIL NO SCALE

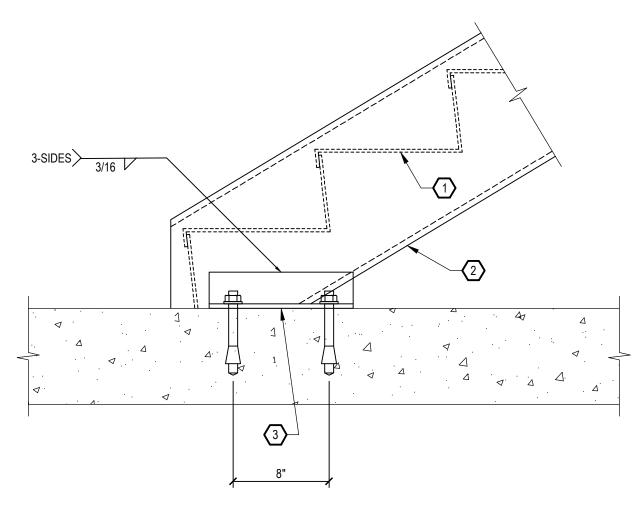


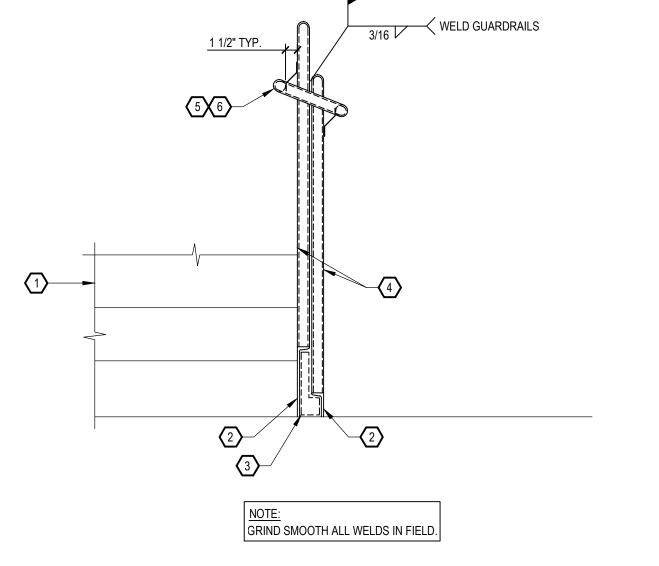
AWING NUMBER:

STAIR REPAIR DETAILS

HP NUMBER: 24137.00 **JUNE 2025**



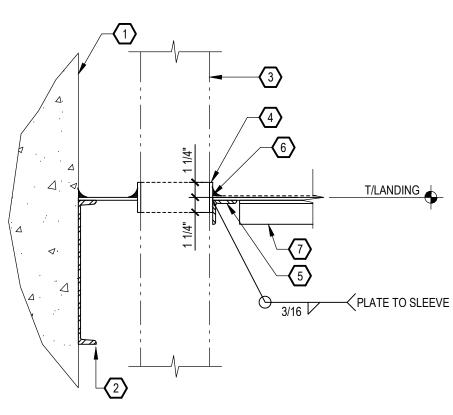


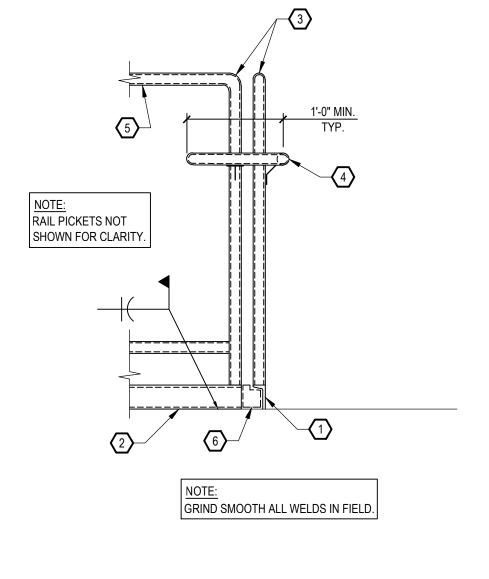


DETAIL 15 222 NO SCALE

LANDING FIRE PROTECTION PIPE

- 7. L2X2X1/4 ANGLE BEYOND WELDED TO STRINGER.
- 6. EPOXY TRACTION MEMBRANE INSTALLATION AT LANDING, INSTALL NEW COVE JOINT AT TOPSIDE AND AROUND PERIMETER OF SCH 40 PIPE SLEEVE. REFER TO DETAIL 5/501.
- 5. L2X2X1/4 ANGLE LANDING SUPPORT.
- 4. SCH 40 PIPE STEEL SLEEVE. COORDINATE SIZE WITH DRY PIPE.
- 3. NEW FIRE PROTECTION SYSTEM.
- 2. CHANNEL LANDING MEMBER. SEE PLAN.
- 1. EXISTING STAIR WALL PANEL.





1. CHANNEL STRINGER SUPPORTED ON LANDING CHANNEL.

3. GUARDRAIL.

4. HANDRAIL.

11

222

2. HSS1-1/2X1-1/2X3/16. WELD TO TOP FLANGE OF LANDING CHANNEL.

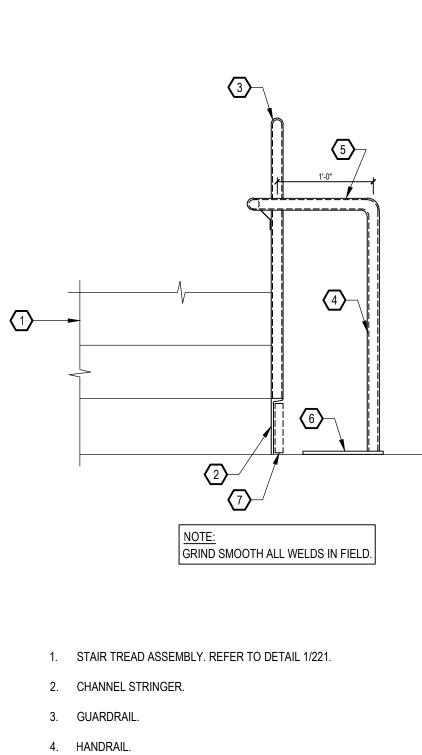
5. SEE DETAIL 14/222 FOR CONNECTION OF GUARDRAIL AT WALL.

TYPICAL HANDRAIL AT TOP LANDING

6. END PLATE PER DETAILS 2/221 AND 3/221.

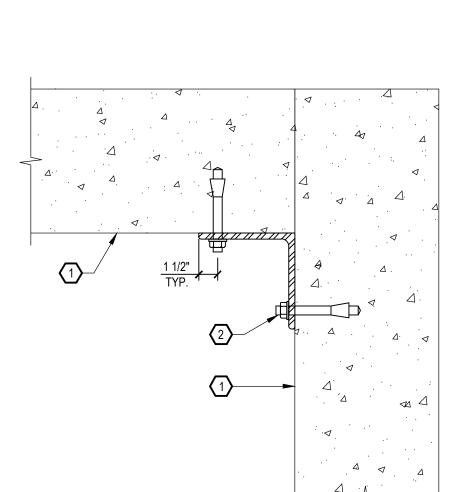
DETAIL

NO SCALE



- 5. HANDRAIL RETURN 1'-0" MINIMUM.
- 6. RAILING BASE PLATE. SEE DETAIL 13/222.
- 7. END PLATE PER DETAILS 2/221 AND 3/221.
- TYPICAL HANDRAIL AT BASE OF STAIR



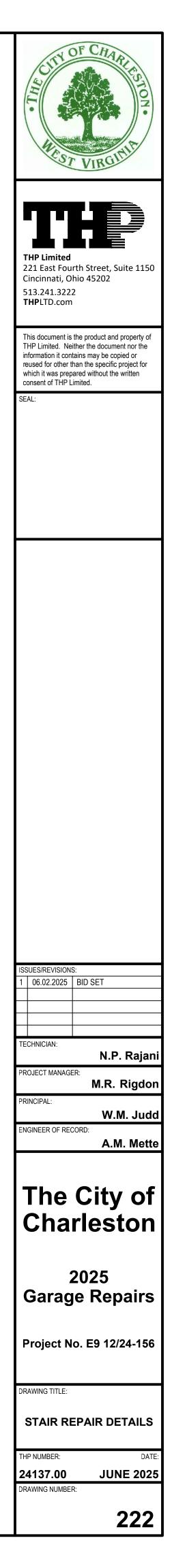


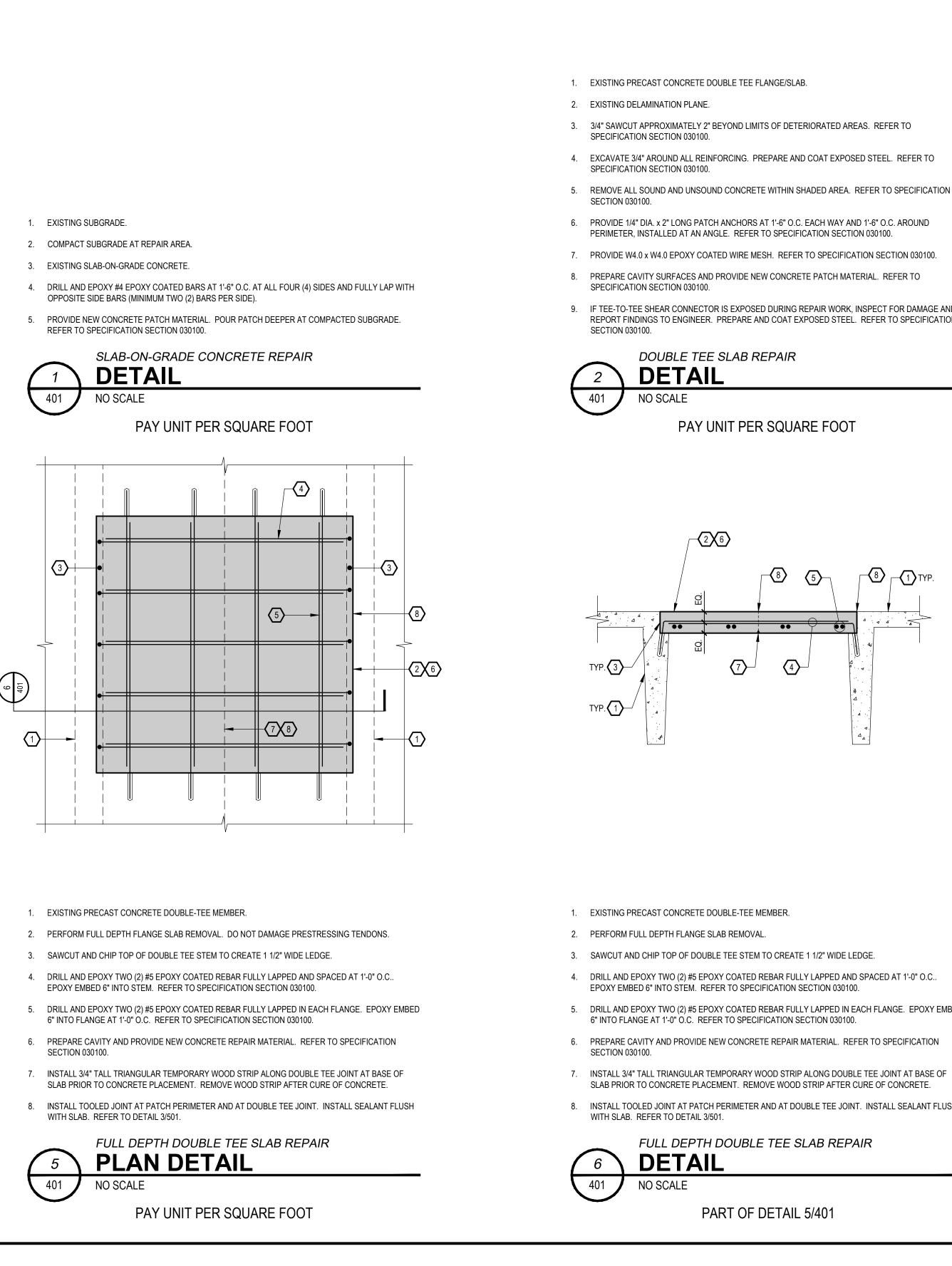
- 1. EXISTING STAIR WALL PANEL.
- L8X8X1/2 BY 1'-8" LONG. ANCHOR TO CONCRETE WALL WITH (3) 3/4" DIA. EXPANSION ANCHORS WITH 5" EMBEDMENT. REFER TO SPECIFICATION SECTION 051200.



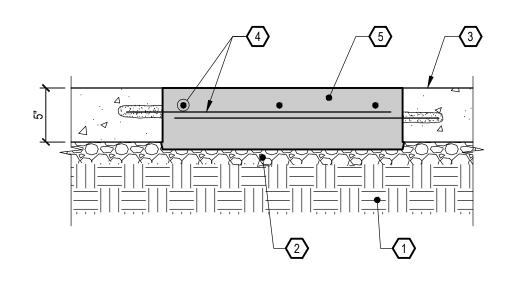
STAIR EXTERIOR WALL TO WALL SUPP. CONNECTION DETAIL

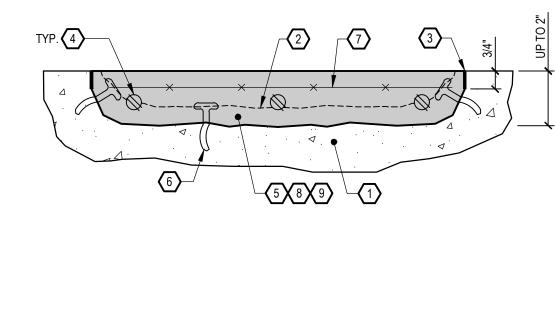
PAY UNIT PER LOCATION

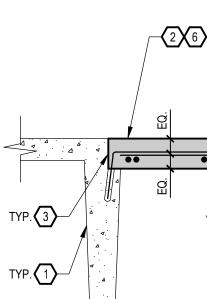


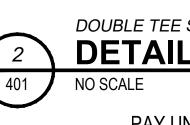












- 9. IF TEE-TO-TEE SHEAR CONNECTOR IS EXPOSED DURING REPAIR WORK, INSPECT FOR DAMAGE AND REPORT FINDINGS TO ENGINEER. PREPARE AND COAT EXPOSED STEEL. REFER TO SPECIFICATION SECTION 030100.
- SPECIFICATION SECTION 030100.
- 7. PROVIDE W4.0 x W4.0 EPOXY COATED WIRE MESH. REFER TO SPECIFICATION SECTION 030100. 8. PREPARE CAVITY SURFACES AND PROVIDE NEW CONCRETE PATCH MATERIAL. REFER TO
- 6. PROVIDE 1/4" DIA. x 2" LONG PATCH ANCHORS AT 1'-6" O.C. EACH WAY AND 1'-6" O.C. AROUND PERIMETER, INSTALLED AT AN ANGLE. REFER TO SPECIFICATION SECTION 030100.

PART OF DETAIL 5/401

DETAIL

NO SCALE

- 6. PREPARE CAVITY AND PROVIDE NEW CONCRETE REPAIR MATERIAL. REFER TO SPECIFICATION 7. INSTALL 3/4" TALL TRIANGULAR TEMPORARY WOOD STRIP ALONG DOUBLE TEE JOINT AT BASE OF
- SLAB PRIOR TO CONCRETE PLACEMENT. REMOVE WOOD STRIP AFTER CURE OF CONCRETE. 8. INSTALL TOOLED JOINT AT PATCH PERIMETER AND AT DOUBLE TEE JOINT. INSTALL SEALANT FLUSH
- WITH SLAB. REFER TO DETAIL 3/501. FULL DEPTH DOUBLE TEE SLAB REPAIR
- 6" INTO FLANGE AT 1'-0" O.C. REFER TO SPECIFICATION SECTION 030100.

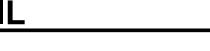
- 1. EXISTING PRECAST CONCRETE DOUBLE-TEE MEMBER.
- 2. PERFORM FULL DEPTH FLANGE SLAB REMOVAL.
- 3. SAWCUT AND CHIP TOP OF DOUBLE TEE STEM TO CREATE 1 1/2" WIDE LEDGE.
- 4. DRILL AND EPOXY TWO (2) #5 EPOXY COATED REBAR FULLY LAPPED AND SPACED AT 1'-0" O.C. EPOXY EMBED 6" INTO STEM. REFER TO SPECIFICATION SECTION 030100.

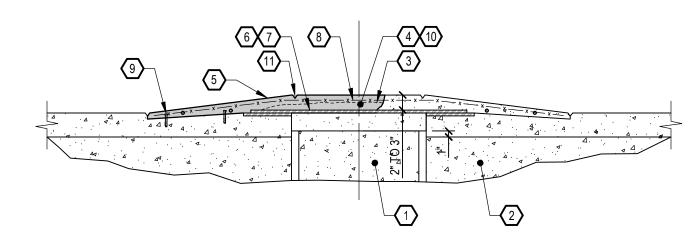
- 5. DRILL AND EPOXY TWO (2) #5 EPOXY COATED REBAR FULLY LAPPED IN EACH FLANGE. EPOXY EMBED

PAY UNIT PER SQUARE FOOT

 $\langle 4 \rangle$

- DOUBLE TEE SLAB REPAIR





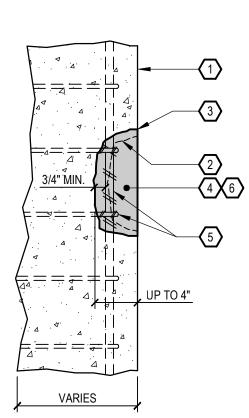
- 1. EXISTING PRECAST CONCRETE INVERTED TEE BEAM.
- 2. EXISTING PRECAST CONCRETE DOUBLE TEE.
- 3. EXISTING DELAMINATION PLANE.
- 4. REMOVE ALL SOUND AND UNSOUND CONCRETE WITHIN SHADED AREA. REFER TO SPECIFICATION SECTION 030100.
- 5. PROVIDE 3/4" SAWCUT AROUND PERIMETER OF REPAIR AREA.
- 6. EXCAVATE 3/4" AROUND ALL REINFORCING. PREPARE AND COAT EXPOSED STEEL. PROVIDE EPOXY COATED CHAIRS (IF NECESSARY) TO SUPPORT BARS. REFER TO SPECIFICATION SECTION 030100.
- 7. EXISTING STEEL STRAP PLATE AT VARIOUS SPACING. INSPECT FOR FAILED WELDS. PREPARE AND EPOXY COAT. REFER TO SPECIFICATION SECTION 030100.
- 8. PROVIDE W4.0 x W4.0 EPOXY COATED WIRE MESH CENTERED IN REPAIR. REFER TO SPECIFICATION SECTION 030100.
- 9. PROVIDE 1/4" DIA. x 2" LONG PATCH ANCHORS AT 1'-6" O.C. EACH WAY AND 1'-6" O.C. AROUND PERIMETER, INSTALLED AT AN ANGLE. REFER TO SPECIFICATION SECTION 030100.
- 10. PREPARE CAVITY SURFACES AND PROVIDE NEW CONCRETE PATCH MATERIAL. REFER TO SPECIFICATION SECTION 030100.
- 11. TOOL NEW CONTROL JOINT IN PATCH MATERIAL OVER INVERTED TEE BEAM TO MATCH ADJACENT JOINTS. INSTALL SEALANT AFTER PROPER CONCRETE CURE. REFER TO DETAIL 3/501.



NO SCALE

401

PAY UNIT PER SQUARE FOOT

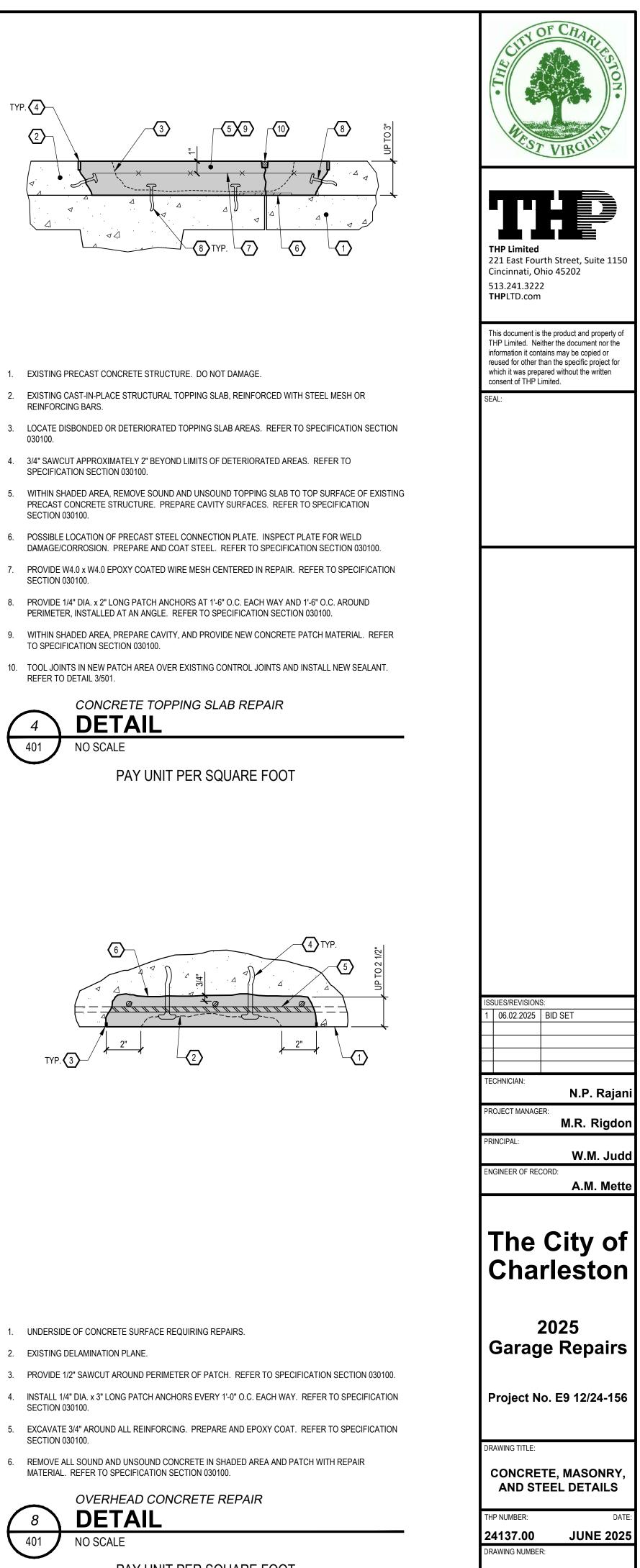


- 1. EXISTING CONCRETE COLUMN OR WALL
- 2. EXISTING DELAMINATION PLANE.
- 3. PROVIDE 1/2" SAWCUT AROUND PERIMETER OF REPAIR AREA.
- 4. REMOVE ALL SOUND AND UNSOUND CONCRETE WITHIN SHADED AREA. REFER TO SPECIFICATION
- SECTION 030100. 5. EXCAVATE 3/4" AROUND ALL REINFORCING. PREPARE AND EPOXY COAT. REFER TO SPECIFICATION
- SECTION 030100. 6. PREPARE CAVITY SURFACES AND INSTALL CONCRETE PATCH MATERIAL. REFER TO SPECIFICATION
- SECTION 030100.

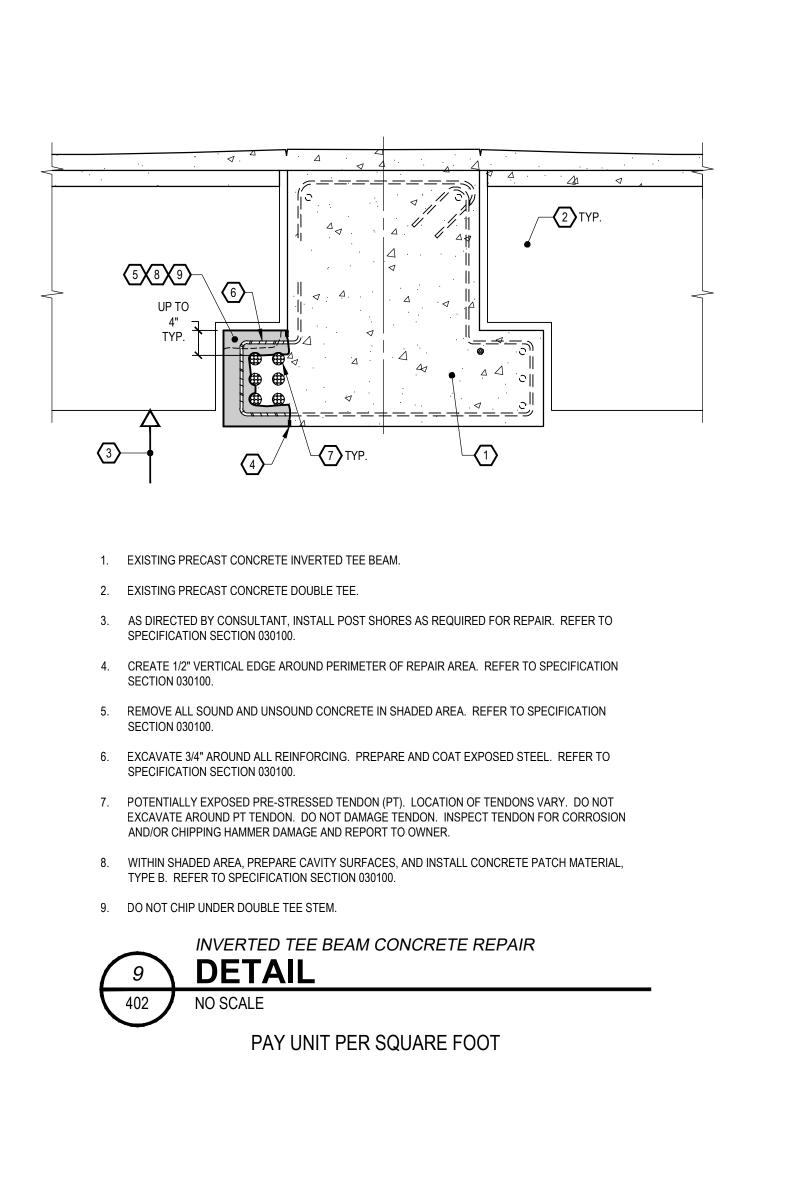
VERTICAL SURFACE CONCRETE REPAIR

DETAIL 401 NO SCALE

PAY UNIT PER SQUARE FOOT



PAY UNIT PER SQUARE FOOT





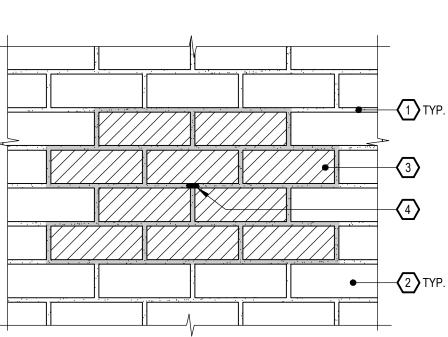
10

(1)

· ک

2 -

1. EXISTING CONCRETE CURB.





(1)(2)

 $3\sqrt{5}$

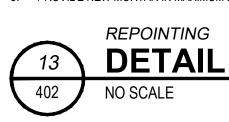


- 2. EXISTING SOUND MORTAR TO REMAIN.

1. EXISTING BRICK TO REMAIN.

- 3. SAWCUT EXISTING MORTAR UNTIL SOUND MORTAR IS ENCOUNTERED, MINIMUM DEPTH OF 3/4". DO NOT DAMAGE BRICKS OR WIDEN JOINTS.
- 4. CLEAN AND WET AREAS OF BRICK TO RECEIVE NEW MORTAR.
- 5. PROVIDE NEW MORTAR IN MAXIMUM LIFTS OF 3/8" DEEP. REFER TO SPECIFICATION SECTION 040100.

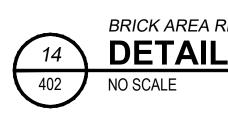
3/4" MIN.



1. EXISTING MORTAR JOINT.

2. EXISTING BRICK MASONRY UNIT.

- 3. LOCALIZED DETERIORATED BRICK MASONRY UNITS TO BE REPLACED. COMPLETELY REMOVE BRICK, REFER TO SPECIFICATION SECTION 040100.



SEALANTS, AND MORTAR JOINTS ASSOCIATED WITH REMOVED MATERIALS. CLEAN RESIDUAL MORTAR FROM ADJACENT BRICK AND PREPARE AND REPLACE BRICK UNIT. SET NEW BRICK IN FULL BED OF MORTAR, POINT HEAD AND TOP JOINTS FULL DEPTH, AND RAKE JOINTS TO MATCH ADJACENT.

4. PROVIDE NEW MASONRY ANCHORS AS REQUIRED. REFER TO SPECIFICATION SECTION 040100.

BRICK AREA REPLACEMENT



PAY UNIT PER LINEAR FOOT

CONCRETE CURB EDGE REPAIR DETAIL

6. WITHIN SHADED AREA, PREPARE CAVITY, AND PROVIDE NEW PATCH MATERIAL. REFER TO SPECIFICATION SECTION 030100.

REFER TO SPECIFICATION SECTION 030100. 5. PROVIDE TWO (2) #4 EPOXY COATED BAR AT 2'-0" O.C. DRILL AND EPOXY 4" INTO CURB/SLAB. REFER TO SPECIFICATION SECTION 030100.

3. EXISTING DELAMINATED CURB. COMPLETELY REMOVE TO EXISTING STRUCTURAL SLAB. 4. POSSIBLE LOCATION OF EXISTING CURB STEEL REINFORCING. PREPARE AND COAT EXPOSED STEEL.

2. EXISTING CONCRETE SLAB. DO NOT DAMAGE.

| ∆. ∢ · • 4 ۵. ⁴ م × 4 · 2 A . A

(1)

1. EXISTING GARAGE WALL/COLUMN.

3. EXISTING CABLE BARRIER SYSTEM.

SPECIFICATION SECTION 033810.

SPECIFICATION SECTION 051200.

DESIGN: CAI GRABB-IT FEMALE TENSIONER.

DETAIL

NO SCALE

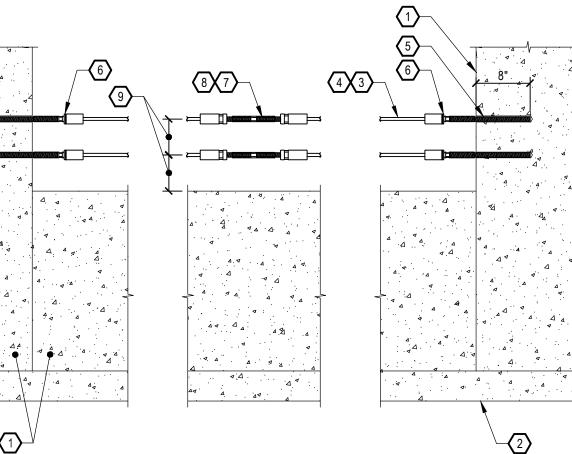
EXISTING GARAGE SLAB.

GRABB-IT SPLICE.

15

402

9. SPACING TO MATCH EXISTING.



PAY UNIT PER LINEAR FOOT

4. EXISTING BARRIER CABLE WITH PLASTIC SHEATHING TO BE REPLACED. REPLACE WITH TWO (2) SECTIONS OF NEW GALVANIZED BARRIER CABLE. LENGTHS TO BE FIELD VERIFIED. REFER TO

6. BARRIER CABLE DEAD END TO RECEIVE NEW CABLE AND THREAD INTO GALVANIZED ROD. BASIS OF

7. BARRIER CABLE TENSIONED ROD SYSTEM TO RECEIVE NEW CABLES. BASIS OF DESIGN: CAI

8. COORDINATE TENSIONING OF CABLE WITH ENGINEER TO ENSURE TIGHT AFTER INSTALLATION.

PS4 PEDESTRIAN BARRIER CABLE REPAIR

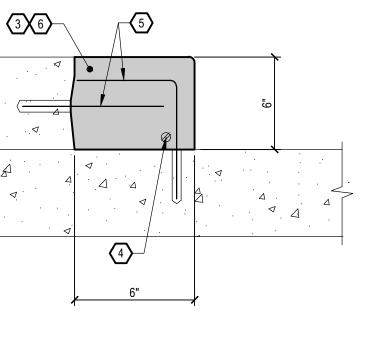
PAY UNIT PER LOCATION

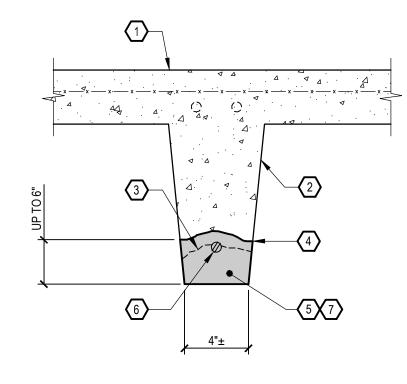
REPAIR COST BASED ON TWO (2) CABLES

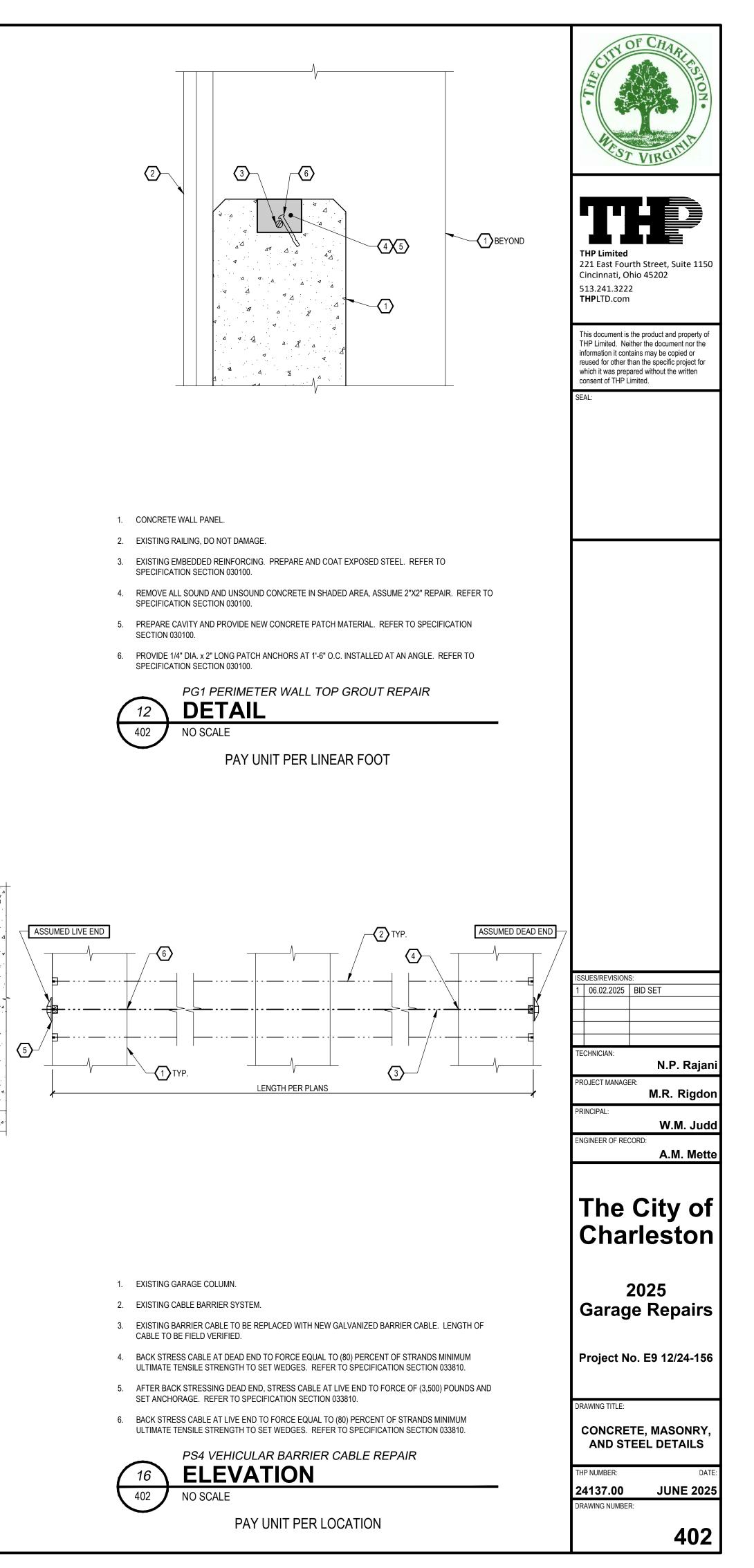
5. 3/4" DIA. GALVANIZED THREADED ROD. EPOXY EMBED IN CENTER OF WALL. REFER TO

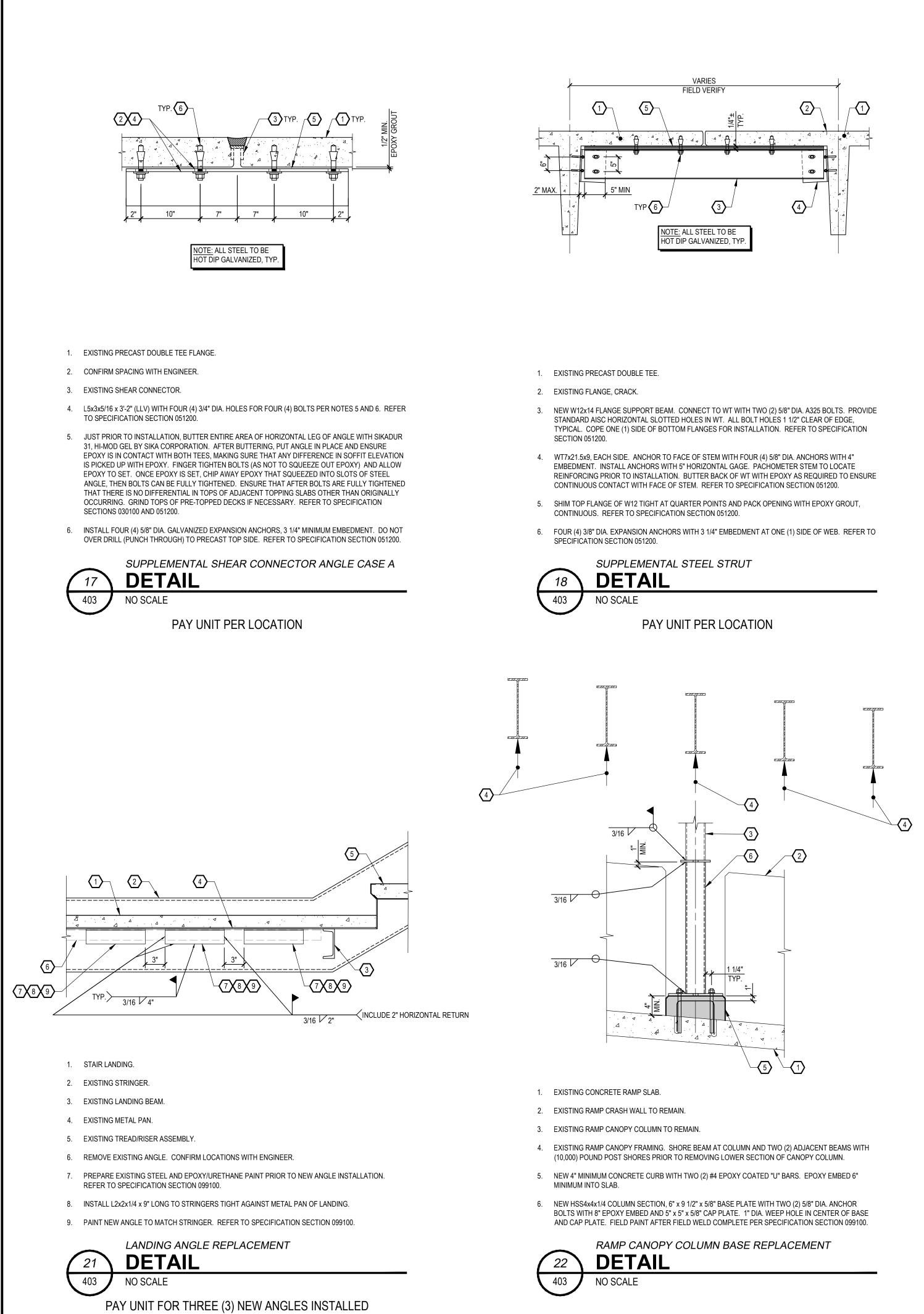


- SPECIFICATION SECTION 030100. 7. PREPARE CAVITY AND PROVIDE NEW CONCRETE PATCH MATERIAL. REFER TO SPECIFICATION SECTION 030100.
- 6. EXCAVATE 3/4" AROUND ALL REINFORCING. PREPARE AND EPOXY COAT EXPOSED STEEL. REFER TO
- 5. REMOVE ALL SOUND AND UNSOUND CONCRETE IN SHADED AREA. REFER TO SPECIFICATION SECTION 030100.
- 4. PROVIDE 1/2" SAWCUT AROUND PERIMETER OF REPAIR AREA.
- 3. EXISTING DELAMINATION PLANE.
- 2. EXISTING CONCRETE DOUBLE TEE STEM.
- 1. EXISTING CONCRETE SLAB.









5. EXISTING DOUBLE TEE. 6. 3/8" PLATE EACH SIDE OF WEB. ATTACH TO SPANDREL BEAM PER DETAIL 20/403.

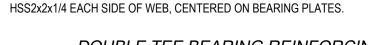
1. 3/8" DIA. HILTI HIT-Z EMBEDED 3 1/2" WITH HILTI HIT-HY 200 ADHESIVE.

2. EXISTING BEARING PAD TO BE REPLACED.

3. EXISTING PRECAST SPANDREL PANEL.



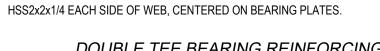
4. EXISTING PRECAST CONCRETE DOUBLE TEE. PERFORM VERTICAL SURFACE REPAIR.

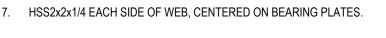








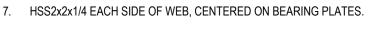






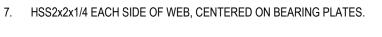




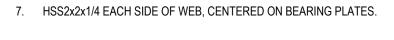














3/16 3

3/16

3/16

3/16

TO REMOVING LOWER SECTION OF CANOPY COLUMN.

20 ` 403

(3)

1/4

WELD SIDE OF PLATES TO 1/4

BEARING PLATE

4'-6"

o -

o ——

-4

0

1 1/2"

0 0

- 1 TYP. BOTH SIDES













1. EXISTING CONCRETE SLAB.

2. EXISTING CANOPY FRAME TO REMAIN.

CANOPY COLUMN BASE REPLACEMENT DETAIL

3. SHORING SPREADER BEAM 4'-0" LONG WITH TWO (2) (10,000) POUND POST SHORES. INSTALL PRIOR

5. NEW HSS4x4x1/4 COLUMN SECTION, 9 1/2" x 9 1/2" x 5/8" BASE PLATE WITH FOUR (4) 5/8" DIA. ANCHOR

BOLTS, AND 5" x 5" x 5/8" CAP PLATE. 1" DIA. WEEP HOLE IN CENTER OF BASE AND CAP PLATE. FIELD

6. TWO (2) L3x3x1/4 ANGLES EACH SIDE OF CANOPY FRAME. FIELD MEASURE. FIELD PAINT AFTER WELD

4. NEW 6" x 12" x 12" MINIMUM CONCRETE CURB WITH TWO (4) #4 EPOXY COATED "U" BARS. EPOXY

EMBED 6" MINIMUM INTO SLAB. ADD TWO (2) #4 EPOXY COATED HAIR PINS.

PAINT AFTER FIELD WELD COMPLETE PER SPECIFICATION SECTION 099100.

-(1)

403

HP NUMBER: 24137.00 AWING NUMBER:

CONCRETE, MASONRY

AND STEEL DETAILS

JUNE 2025

RAWING TITLE:

Project No. E9 12/24-156

2025 Garage Repairs

The City of Charleston

SUES/REVISIONS: 06.02.2025 | BID SET ECHNICIAN: N.P. Rajan ROJECT MANAGER: M.R. Rigdo RINCIPAL: W.M. Jud NGINEER OF RECORD: A.M. Mette

This document is the product and property o THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.

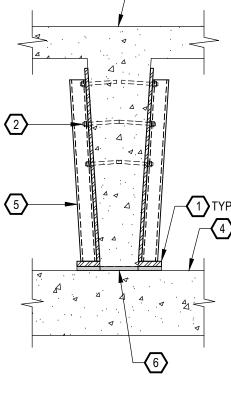






513.241.3222 THPLTD.com





PART OF 19/403

 $-5\sqrt{6}\sqrt{7}$

DETAIL 20 403 1" = 1'-0"

DOUBLE TEE BEARING REINFORCING

6. NEW MASTICORD BEARING PAD.

1. EXISTING CONCRETE SLAB.

OF CFMF.

TIE HL35HDG.

OPPOSITE SIDE.

24

403

2. EXISTING COLD FORMED METAL FRAMING SCREEN WALL SUPPORT TO REMAIN.

3 1/2" EMBEDMENT. REFER TO SPECIFICATION SECTION 051200.

DETAIL

NO SCALE

3. SHORE WITH (2,500) POUND POST SHORE AT EACH CFMF POST PRIOR TO REMOVING LOWER SECTION

NEW 6" MINIMUM CONCRETE CURB WITH TWO (2) #4 EPOXY COATED "U" BARS. EPOXY EMBED 6" MINIMUM INTO SLAB. ADD TWO (2) #4 EPOXY COATED HAIR PINS.

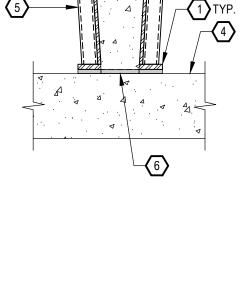
5. INSTALL TWO (2) ANGLES TO CONNECT CFMF TO NEW CURB. BASIS OF DESIGN: SIMPSON STRONG

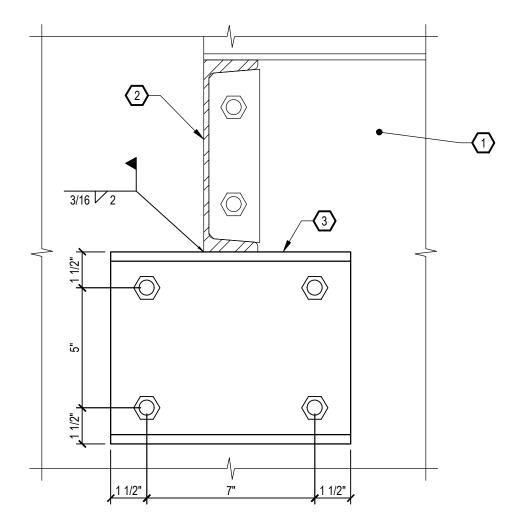
6. AT TWO (2) OUTER HOLES OF ANGLE, INSTALL 1/2" GALVANIZED EXPANSION ANCHORS WITH MINIMUM

7. AT THREE (3) HOLES OF ANGLE, INSTALL 1/2" GALVANIZED THREADED ROD THROUGH CFMF TO

CANOPY CFMF BASE REPLACEMENT

- 5. HSS2x2x1/4 EACH SIDE OF WEB, CENTERED ON BEARING PLATES.
- 4. TOP OF EXISTING HAUNCH ALONG STAIR WALL.
- EXISTING PRECAST CONCRETE DOUBLE TEE.
- 2. 3/8" BOLTS BEYOND PER DETAIL 19/403. COORDINATE BOLD EMBEDMENT TO PREVENT INTERFERENCE.
- 1. 5/8" x 4" x 4" BEARING PLATE WITH MASTICORD BEARING PAD BELOW.

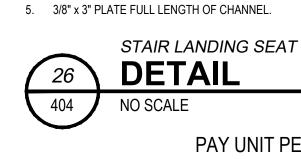


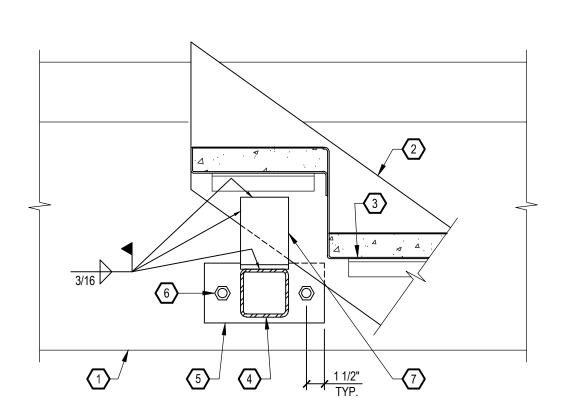


- 1. EXISTING CONCRETE WALL PANEL.
- 2. EXISTING STAIR LANDING FRAMING MEMBER.
- 3. INSTALL C8x11.5 x 10" CHANNEL TIGHT TO CONCRETE WALL WITH FOUR (4) 3/4" DIA. EXPANSION ANCHORS WITH 5" EMBED.





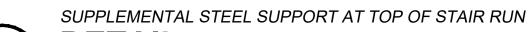




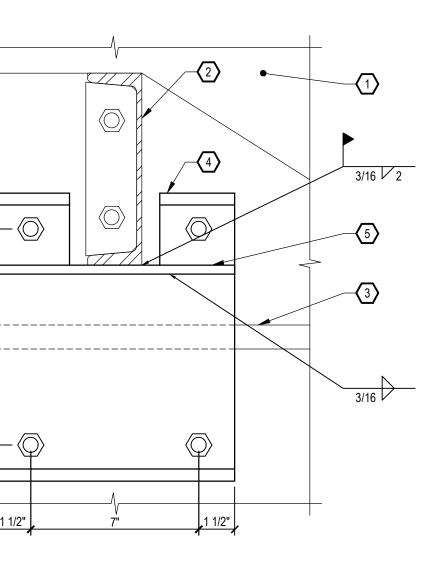
- 1. EXISTING PRECAST DOUBLE TEE.
- 2. EXISTING STAIR STRINGER.
- 3. EXISTING STEEL STAIR TREADS.

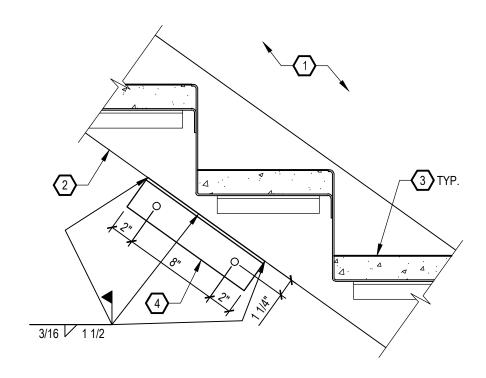
SPECIFICATION SECTION 051200.

- 4. PROVIDE GALVANIZED HSS4x4x1/4, CUT TO LENGTH. REFER TO SPECIFICATION SECTION 051200.
- 5. PROVIDE GALVANIZED PLATE 5/8" x 5" x 10". REFER TO SPECIFICATION SECTION 051200.
- 6. PROVIDE TWO (2) GALVANIZED 3/4" DIA. THRU BOLTS WITH MATCHING WASHERS. REFER TO
- 7. PROVIDE GALVANIZED L6x4x3/8 (LLV) x 4" LONG. REFER TO SPECIFICATION SECTION 051200.



DETAIL 29 404 NO SCALE PART OF DETAIL 7/701



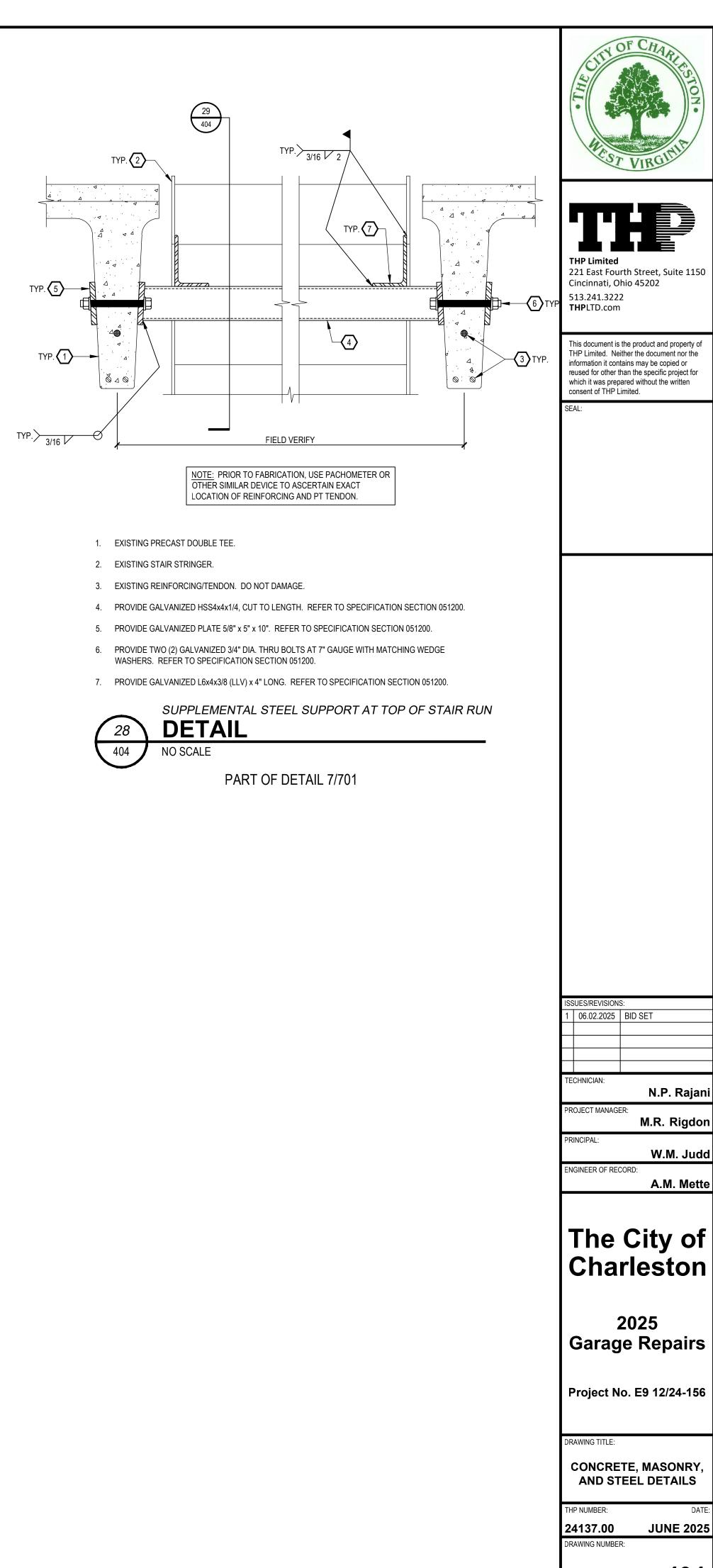


- 1. EXISTING CONCRETE WALL PANEL.
- 2. EXISTING STAIR LANDING FRAMING MEMBER. 3. EXISTING JOINT IN CONCRETE WALL PANEL.
- 4. INSTALL C12x20.7 x 10" CHANNEL WITH NOTCH AND PLATE PER NOTE 5 TIGHT TO CONCRETE WALL WITH FOUR (4) 3/4" DIA. EXPANSION ANCHORS WITH 5" EMBED.

 - PAY UNIT PER LOCATION

- 1. EXISTING CONCRETE WALL BEYOND.
- 2. EXISTING STAIR STRINGER.
- 3. EXISTING STAIR TREADS.
- 4. NEW L3x3x3/8 x 1'-0" LONG. ANCHOR TO WALL WITH TWO (2) 3/4" DIA. EXPANSION ANCHORS WITH 5" EMBEDMENT. REFER TO SPECIFICATION SECTION 051200.
 - STRINGER SUPPORT AT WALL





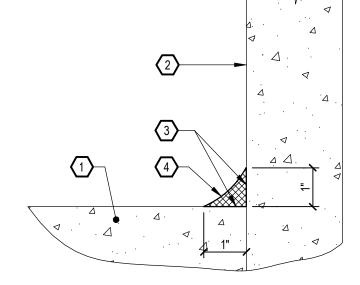


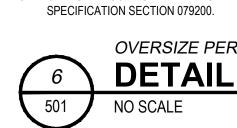
1. CONCRETE SLAB.

- 4. PROVIDE COVE SEALANT. INSTALL PER DIMENSIONS UNLESS NOTED OTHERWISE. REFER TO

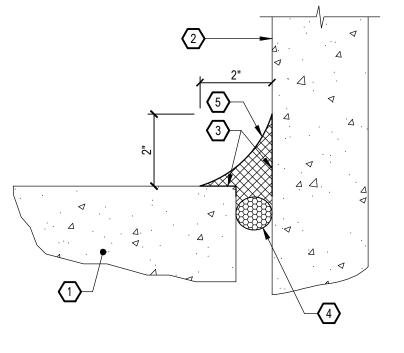
- 2. EXISTING WALL, CURB, OR ANY OTHER VERTICAL PROJECTION.

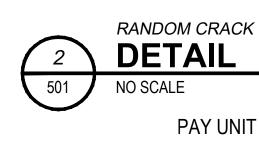
- 3. PREPARE ALL SURFACES INTENDED FOR NEW SEALANT. REFER TO SPECIFICATION SECTION 079200.





- 4. OVERSIZED BACKER ROD.
- SECTION 079200.
- 1. CONCRETE SLAB.





- 079200.
- 079200.

- 1. CONCRETE SLAB.

079200.

501

- 1. EXISTING STONE.
- 2. REMOVE ANY EXISTING SEALANT AND ROUT MORTAR TO DEPTH OF 3/8".

STONE JOINT SEALANT

DETAIL

NO SCALE

- 3. PROVIDE NEW BOND BREAKER TAPE OR USE WAX CRAYON ON MORTAR ONLY.

4. INSTALL NEW SILICONE SEALANT. TOOL SEALANT CONCAVE. REFER TO SPECIFICATION SECTION

-**(**1)

à

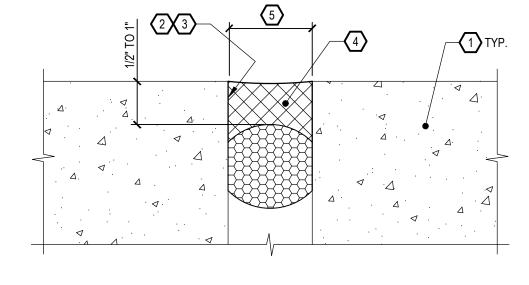
OVERSIZE PERIMETER COVE

5. OVERSIZED COVE SEALANT. INSTALL PER DIMENSIONS UNLESS NOTED OTHERWISE. REFER TO

2. EXISTING WALL, CURB, OR ANY OTHER VERTICAL PROJECTION. 3. PREPARE AND PRIME ALL SURFACES INTENDED FOR NEW SEALANT. REFER TO SPECIFICATION



- 5. JOINT WIDTH VARIES 1"-1 1/2".
- 4. PRIME SUBSTRATE, INSTALL BACKER ROD, AND PROVIDE NEW SEALANT. INSTALL SEALANT CONCAVE. REFER TO SPECIFICATION SECTION 079200.
- 3. PREPARE ALL SURFACES INTENDED FOR NEW SEALANT. REFER TO SPECIFICATION SECTION 079200.
- 2. CUT OUT ANY EXISTING JOINT SEALANTS THEN GRIND SURFACES TO REMOVE SEALANT RESIDUE. PROVIDE MINIMUM WIDTH TO DEPTH RATIO OF 3:2. REFER TO SPECIFICATION SECTION 079200.
- 1. CONCRETE SLAB.



PAY UNIT PER LINEAR FOOT

3. PREPARE ALL SURFACES INTENDED FOR NEW SEALANT. REFER TO SPECIFICATION SECTION 079200. 4. PRIME SUBSTRATE AND PROVIDE NEW SEALANT. INSTALL SEALANT FLUSH WITH ADJOINING SURFACES BENEATH MEMBRANE, AND CONCAVE ELSEWHERE. REFER TO SPECIFICATION SECTION

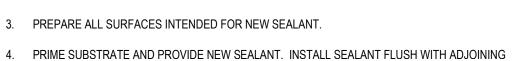
2. ROUT CRACKS IN "V" CONFIGURATION, MINIMUM 1/2" WIDE x 1/2" DEEP, OR WHEN 1/2" DIMENSION IS INSUFFICIENT, USE MINIMUM WIDTH TO DEPTH RATIO OF 1:1. REFER TO SPECIFICATION SECTION

DETAIL 3 501 NO SCALE





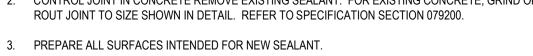




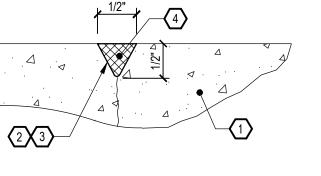
- 2. CONTROL JOINT IN CONCRETE REMOVE EXISTING SEALANT. FOR EXISTING CONCRETE, GRIND OR ROUT JOINT TO SIZE SHOWN IN DETAIL. REFER TO SPECIFICATION SECTION 079200.

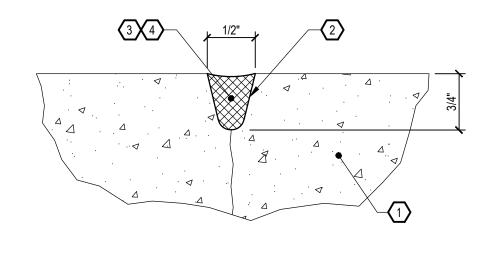
SURFACES BENEATH MEMBRANE, AND CONCAVE ELSEWHERE. REFER TO SPECIFICATION SECTION

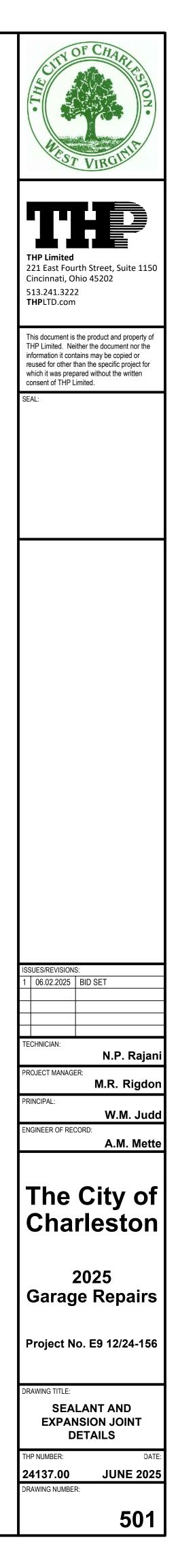
- 3. PREPARE ALL SURFACES INTENDED FOR NEW SEALANT.

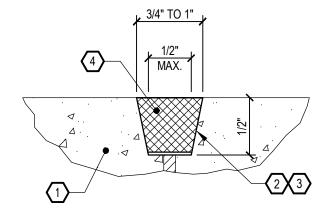












1. CONCRETE SLAB.

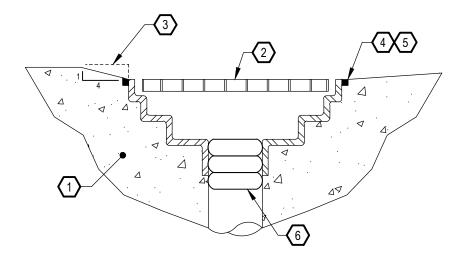
4

501

NO SCALE

- 2. CUT OUT ALL EXISTING JOINT SEALANTS IF PRESENT, THEN GRIND SURFACES TO REMOVE SEALANT RESIDUE AND SLOPE SIDE SURFACES AS SHOWN. PROVIDE MINIMUM WIDTH TO DEPTH RATIO OF 2:1.
- 3. PREPARE ALL SURFACES INTENDED FOR NEW SEALANT. REFER TO SPECIFICATION SECTION 079200. 4. PRIME SUBSTRATE AND PROVIDE NEW SEALANT. INSTALL SEALANT FLUSH WITH ADJOINING
- SURFACES BENEATH MEMBRANE, AND CONCAVE ELSEWHERE. REFER TO SPECIFICATION SECTION 079200.
 - CONSTRUCTION JOINT SEALANT REPLACEMENT DETAIL

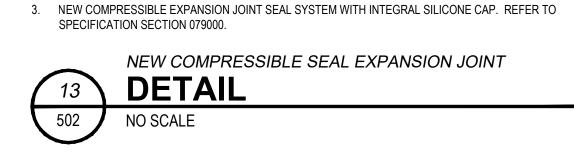
PAY UNIT PER LINEAR FOOT



- 1. CONCRETE SLAB.
- 2. DRAIN GRATING. PROTECT DRAINS DURING WORK.
- 3. WHERE DRAIN IS RECESSED BELOW TOP OF DECK, GRIND CONCRETE EDGE AT DRAIN PERIMETER AS SHOWN.
- 4. SAWCUT 1/4" WIDE x 1/4" DEEP GROOVE ALL AROUND. PROVIDE RADIUS EDGE AT CONCRETE CORNER. MEDIA BLAST GROOVE AND PROVIDE SEALANT PRIMER ON METAL AND CONCRETE SURFACES PRIOR TO SEALANT INSTALLATION.
- 5. INSTALL SEALANT AROUND DRAIN BODY IN SAWCUT AFTER PRIMER HAS CURED. REFER TO SPECIFICATION SECTION 079200.
- 6. PROVIDE PLUMBERS PLUG IN DRAIN OPENING DURING MEMBRANE SYSTEM PREPARATION AND INSTALLATION. REMOVE PLUG AT END OF EACH WORK DAY AND DURING INCLEMENT WEATHER.

SEALANT AT DRAIN DETAIL

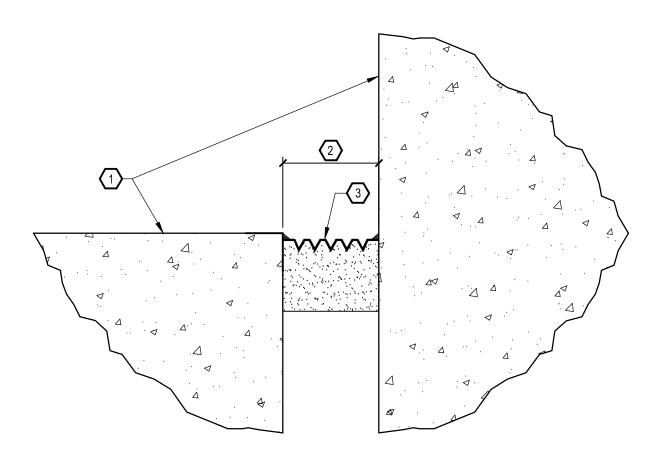
8 NO SCALE 501



2. FIELD VERIFY JOINT OPENING TO ACCOMMODATE NEW JOINT SYSTEM. REFER TO SPECIFICATION

1. EXISTING CONCRETE SLAB OR WALL.

SECTION 079000.

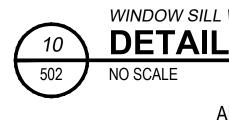




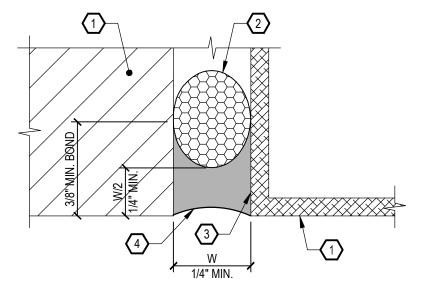
4. PROVIDE NEW SILICONE SEALANT. REFER TO SPECIFICATION SECTION 079200.

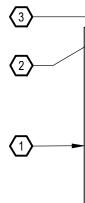
ISOLATION JOINT AT WINDOW

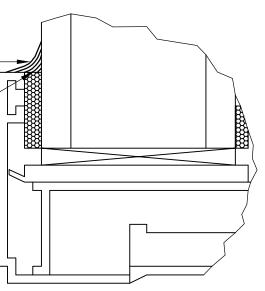
- 3. PREPARE ALL SURFACES INTENDED FOR NEW SEALANT. REFER TO SPECIFICATION SECTION 079200.
- 2. NEW BACKER ROD.
- 1. SUBSTRATE.



- FRAME.
- 1. WINDOW FRAME.







 $\overline{7}$

- 1. CONCRETE SLAB.
- 2. EXISTING WINGED COMPRESSION SEAL AND NOSING.
- 3. EXISTING NOSING WIDTH. VERIFY PRIOR TO BIDDING.
- 4. TYPICAL EXISTING LONGITUDINAL CRACK IN NOSING OR ERODED NOSING. LOCATE AND VERIFY WORK AREAS WITH OWNER PRIOR TO ANY WORK.
- 5. REMOVE DAMAGED LENGTH OF NOSING PLUS AT LEAST 4" OF SOUND NOSING ON EACH END OF REPAIR LENGTH. PERFORM WORK CAREFULLY AS NOT TO DAMAGE EMBEDDED WING OF SEAL IN BASE OF BLOCK-OUT. REFER TO SPECIFICATION SECTION 079000.
- 6. AT APPROXIMATELY 2" INSIDE ENDS OF REPAIR LENGTH, CUT SEAL WING PERPENDICULAR TO JOINT THROUGH NEAREST HOLE IN WING, THEN CAREFULLY PRY UP WING WITH SHARP FLAT BLADE TOOL FROM BACKSIDE OF WING WORKING TOWARD SEAL. REFER TO SPECIFICATION SECTION 079000.
- 7. PRY UP SEAL WING AND INSPECT FOR POSSIBLE JOINT EDGE BLOCK-OUT SPALL. WHERE FOUND, CLEAN OUT SPALLED AREA WITH HAND HELD TOOLS AND COMPRESSED AIR, THEN INSTALL SAND MODIFIED EPOXY REPAIR MORTAR. REFER TO SPECIFICATION SECTION 030100.
- 8. CLEAN BLOCK-OUT AND SEAL WING SURFACES WITH HAND HELD TOOLS AND COMPRESSED AIR, THEN REINSTALL SEAL WING IN BED OF EPOXY AND REPAIR NOSING WITH EJ MANUFACTURER MATERIAL. REFER TO SPECIFICATION SECTION 079000.

WING COMPRESSION SEAL REPAIR



PAY UNIT PER LINEAR FOOT

2. REMOVE OLD SEALANT AT FACE AND CUT BACK EDGE OF EXISTING GASKET FLUSH WITH WINDOW

3. WET SEAL REPAIR: PREPARE WINDOW AND FRAME AND PROVIDE SILICONE SEALANT CAP BEAD AROUND PERIMETER OF WINDOW (ALL FOUR (4) SIDES). REFER TO SPECIFICATION SECTION 079200.

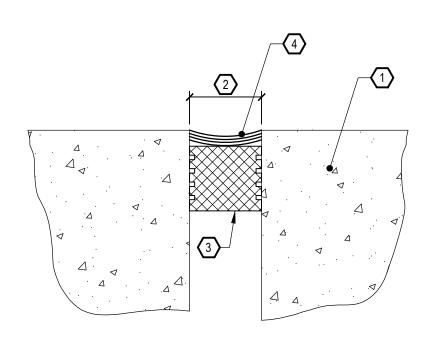
WINDOW SILL WET SEAL

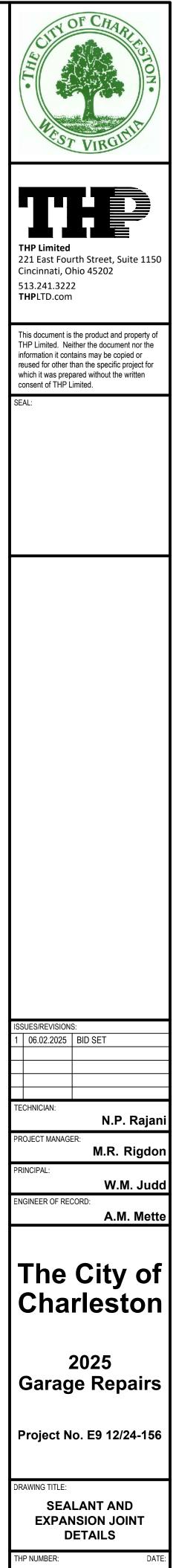
ALTERNATE NO. 1

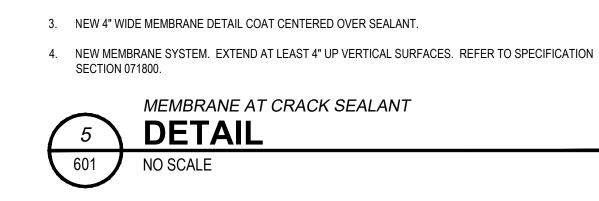
N.P. Rajani M.R. Rigdor W.M. Jud A.M. Mette 2025 SEALANT AND DETAILS 24137.00 **JUNE 2025** RAWING NUMBER: 502



- 4. INSTALL SILICONE CAP ON EXPANSION JOINT. REFER TO SPECIFICATION SECTION 072000.
- 3. NEW COMPRESSIBLE JOINT SEAL. REFER TO SPECIFICATION SECTION 079000.
- 2. FIELD VERIFY JOINT OPENING TO ACCOMMODATE NEW JOINT SYSTEM. REFER TO SPECIFICATION SECTION 079000.
- 1. CONCRETE SLAB.







- SECTION 071800. DETAIL 6 601 NO SCALE
- 2. NEW SEALANT. REFER TO DRAWING 4/501.
- 1. EXISTING CONCRETE SLAB.



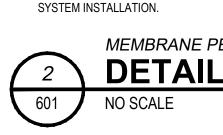
2. NEW SEALANT. REFER TO DETAIL 2/501.











- 2. PROVIDE SAWCUT 1/4" WIDE x 1/8" DEEP. 3. NEW MEMBRANE BASE COAT. ENSURE BASE COAT COMPLETELY FILLS SAWCUT. REFER TO SPECIFICATION SECTION 071800.
- 1. EXISTING CONCRETE SLAB.

1. EXISTING CONCRETE SLAB.

EXPOSED METAL

3

- 2. CUT-OFF NON-FUNCTIONAL METALS 3/4" BELOW CONCRETE SURFACE. PREPARE CONCRETE AND
- REINFORCEMENT TO PROVIDE 1/2" COVER AT CUT ENDS. PREPARE AND PATCH WITH EPOXY/SAND

4. REPAIR MINOR EXISTING SURFACE DEFECTS CAUSED BY AGGREGATE POP-OUTS, SURFACE SCALING,

DEPOSITED (LEFT ON SLAB) FROM CONSTRUCTION ACTIVITIES. WHERE EXISTING SLAB CONCRETE IS

MOUNDED OR OTHERWISE PROTRUDES MORE THAN 1/16" ABOVE DECK, GRIND IT SMOOTH, OR GRIND

TRANSITION SLOPE OF 1:4 (MAXIMUM) WITH BLENDING RADII AT PERIMETER OF LARGE AREAS.

- 3. EXPOSED SLAB REINFORCEMENT AND OR WIRE MESH. CUT AND REMOVE SUFFICIENT AMOUNT OF

- MIXTURE. CONSULT WITH ENGINEER PRIOR TO CUTTING REINFORCEMENT.

- SECTION 030100.
- PATCH WITH EPOXY/SAND MIXTURE. NO FLAME CUTTING PERMITTED. REFER TO SPECIFICATION

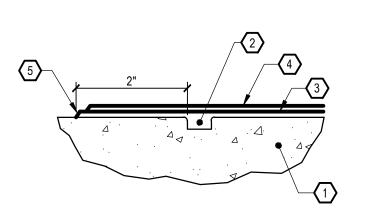
AND FREEZE-THAW DAMAGE IN MANNER ACCEPTABLE TO ENGINEER AND MEMBRANE

5. GRIND SMOOTH OR OTHERWISE REMOVE EXISTING EXCESS CONCRETE AND/OR MATERIAL

MANUFACTURER. REFER TO SPECIFICATION SECTION 071800.

6. NEW MEMBRANE SYSTEM. REFER TO SPECIFICATION SECTION 071800.

SURFACE DEFECTS



MEMBRANE AT CONSTRUCTION JOINT SEALANT

4. NEW MEMBRANE SYSTEM. EXTEND AT LEAST 4" UP VERTICAL SURFACES. REFER TO SPECIFICATION

3. NEW 4" WIDE MEMBRANE DETAIL COAT CENTERED OVER SEALANT.

/---4

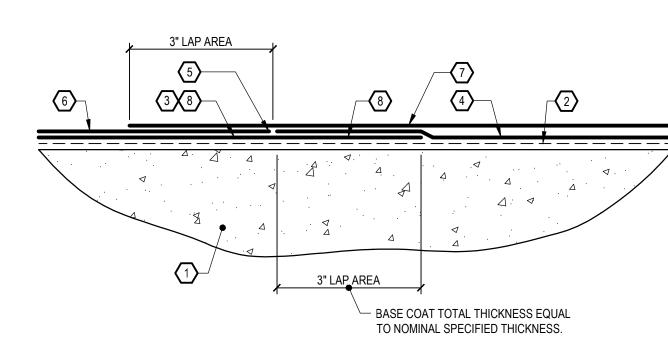
MEMBRANE SYSTEM TIE-IN DETAIL 601 NO SCALE

- a. ABRASIVE WHEEL PREPARE 3" WIDE LAP AREA. REMOVE TOP COAT TO EXPOSE EXISTING BASE COAT.
- 8. WHERE NEW MEMBRANE SYSTEM IS TO TIE INTO EXISTING MEMBRANE SYSTEM, PROCEED AS FOLLOWS:

b. PREPARE EXISTING BASE COAT PER MEMBRANE MANUFACTURER'S REQUIREMENTS

c. LAP NEW BASE COAT ONTO EXISTING BASE COAT AND PROCEED AS NOTED ABOVE.

- 7. SECOND GRIT COAT.
- 6. FIRST TOP COAT.
- 5. MASK TERMINATION EDGE FOR FIRST TOP COAT INSTALLATION.
- 4. SECOND BASE COAT.
- 3. FIRST BASE COAT. MASK ALONG TERMINATION EDGE. (REFER TO NOTE 8 FOR SPECIAL CONDITION WHERE NEW MEMBRANE TIES INTO EXISTING).
- 2. WHERE REQUIRED, VAPOR BARRIER COAT. REFER TO DRAWINGS AND SPECIFICATION SECTION 071800.
- 1. EXISTING CONCRETE SLAB.



MEMBRANE PERIMETER TERMINATION

5. MASK STRAIGHT LINE FOR MEMBRANE TERMINATION. PERIMETER SHALL BE PARALLEL TO ADJACENT WALLS AND/OR PERPENDICULAR TO ADJACENT WALLS AS REQUIRED TO OBTAIN CLEAN AND NEAT

4. NEW MEMBRANE TOP COAT. REFER TO SPECIFICATION SECTION 071800.

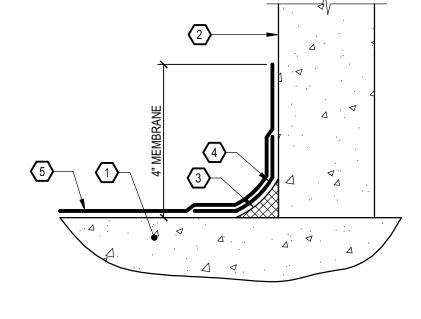
- 2. EXISTING CONCRETE WALL, CURB, OR ANY OTHER VERTICAL PROJECTION.
- 3. NEW COVE SEALANT. REFER TO DETAIL 5/501. 4. NEW 4" WIDE MEMBRANE DETAIL COAT CENTERED ON JOINT. REFER TO SPECIFICATION SECTION
- 071800.
- 5. NEW MEMBRANE SYSTEM. TERMINATE ON VERTICAL SURFACES AS SHOWN. WHERE VERTICAL
- PROJECTION IS BLOCK OR OTHER NON-CONCRETE MATERIAL, TERMINATE MEMBRANE SYSTEM ON
- COVE SEALANT. REFER TO SPECIFICATION SECTION 071800.

MEMBRANE AT VERTICAL SURFACE



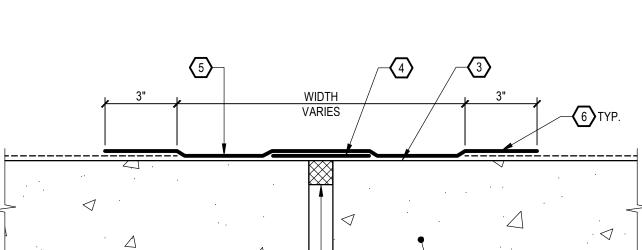






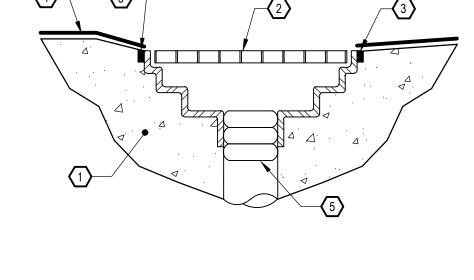
		2025
	EXISTING PRECAST DOUBLE TEE SLAB.	Garage Repairs
2.	DOUBLE TEE SEALANT TO BE REPLACED AS PART OF MEMBRANE WORK/PRICE.	5 1
8.	COMPLETELY REMOVE EXISTING MEMBRANE TO CONCRETE. REFER TO SPECIFICATION SECTION 071800.	Project No. E9 12/24-156
1.	NEW 4" WIDE MEMBRANE DETAIL COAT CENTERED OVER SEALANT.	
5.	NEW HEAVY DUTY MEMBRANE SYSTEM. REFER TO SPECIFICATION SECTION 071800.	DRAWING TITLE:
ò.	PROVIDE 3" MEMBRANE TIE-IN AT EXISTING MEMBRANE TO REMAIN ON DOUBLE TEE SLAB. REFER TO DETAIL 7/601.	
		MEMBRANE DETAILS
	PS1 MEMBRANE STRIP REPAIR	
		THP NUMBER: DATE:
6	501 NO SCALE	24137.00 JUNE 2025
		DRAWING NUMBER:
	PAY UNIT PER SQUARE FOOT	601

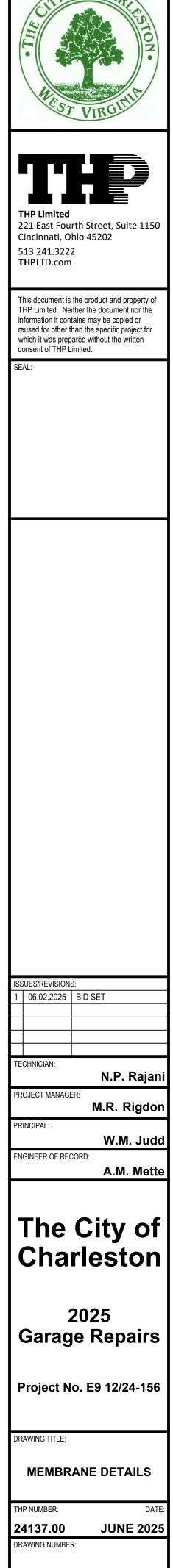
5-6 TYP. VARIES ----- \triangleleft 2 -(1) TYP.

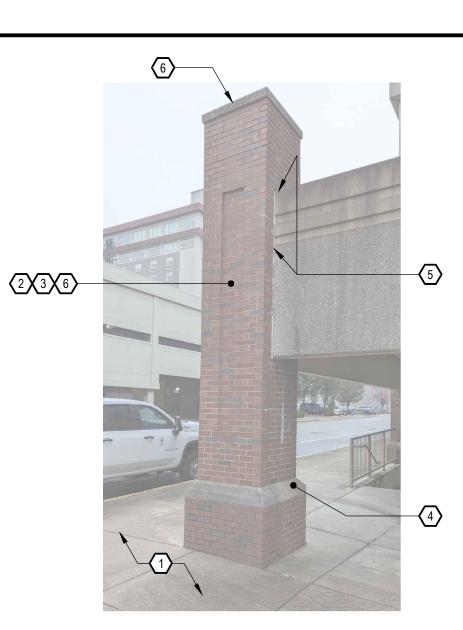


- MEMBRANE AT DRAIN DETAIL - 4 NO SCALE 601
- 071800. 5. PROVIDE PLUMBERS PLUG IN DRAIN OPENING DURING MEMBRANE SYSTEM PREPARATION AND INSTALLATION. REMOVE PLUG AT END OF EACH WORK DAY AND DURING INCLEMENT WEATHER.
- 4. NEW MEMBRANE SYSTEM. TERMINATE ON SEALANT JOINT. REFER TO SPECIFICATION SECTION
- 3. PROVIDE NEW SEALANT. REFER TO DETAIL 8/501.
- 2. DRAIN GRATING. PROTECT DURING WORK. WHERE GRATE IS INADVERTENTLY BLASTED BY SHOT BLAST AND MEDIA BLAST EQUIPMENT, THEY SHALL BE RECOATED IN AN APPROVED MANNER.
- 1. EXISTING CONCRETE SLAB.

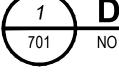




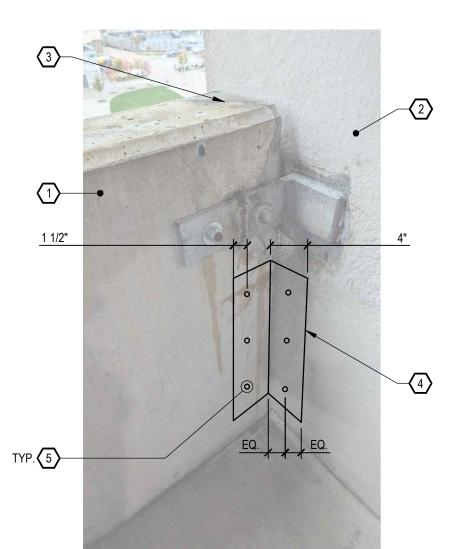


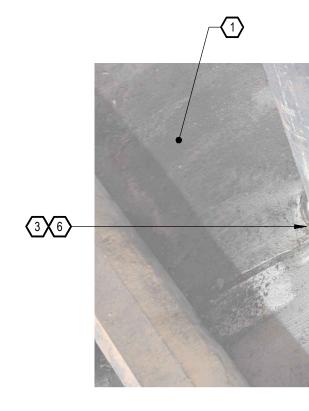


- 1. COORDINATE REPAIR TO PROVIDE ACCESS AND SIGNAGE MEETING LOCAL REQUIREMENTS TO KEEP PUBLIC ACCESS ON SIDEWALK.
- 2. REPAIR INCLUDES (50) PERCENT REPOINTING OF ENTIRE MASONRY COLUMN AT ALL FOUR (4)SIDES. REFER TO DETAIL 13/402.
- 3. REPAIR INCLUDES REPLACING (25) BRICK UNITS AT MASONRY COLUMN. REFER TO DETAIL 14/402.
- 4. GRIND MORTAR JOINT AT CAST STONE BAND AND INSTALL SILICONE SEALANT FOUR (4) SIDES. REFER TO DETAIL 1/501.
- 5. REMOVE EXISTING SEALANT, PREPARE SURFACES, AND INSTALL NEW SILICONE ISOLATION JOINT SEALANT. REFER TO DETAIL 7/501.
- 6. CLEAN MASONRY SURFACES TO REMOVE EFFLORESCENCE, POLLUTANTS, AND DIRT. REFER TO SPECIFICATION SECTION 090100.
 - PG6 MASONRY COLUMN REPAIR



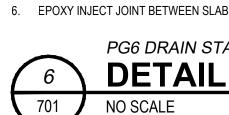
DETAIL NO SCALE

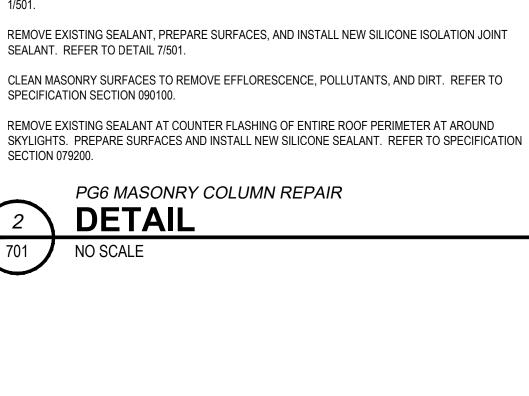


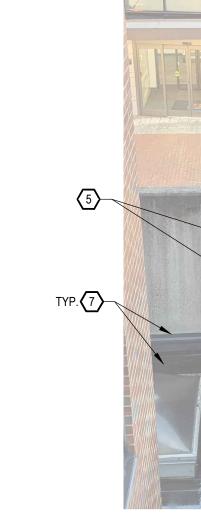


- 1. PERIMETER CONCRETE WALL PANEL.
- 2. GARAGE COLUMN.
- 3. EXISTING CRACK OR JOINT AT PAST CONCRETE REPAIR. EPOXY INJECT CRACK/REPAIR FROM TOP OF WALL. SEAL SIDES PRIOR TO INJECTION. REFER TO SPECIFICATION SECTION 036423.
- 4. INSTALL L8x8x1/2 HOT DIP GALVANIZED. ANGLE TO BE 1'-4" LONG. REFER TO SPECIFICATION SECTION 051200.
- 5. PROVIDE THREE (3) 5/8" DIA. GALVANIZED EXPANSION ANCHORS IN ANGLE LEGS AT BOTH COLUMN AND WALL. SCAN WALL AND COLUMN AND REPORT REINFORCING SPACING AND LAYOUT TO ENGINEER FOR ANCHORS SPACING PRIOR TO SHOP DRAWINGS. REFER TO SPECIFICATION SECTION 051200.

PG6 WALL BRACKET REPAIR DETAIL 5 701 NO SCALE







- 1. COORDINATE REPAIR TO PROVIDE ACCESS AND SIGNAGE MEETING LOCAL REQUIREMENTS TO KEEP PUBLIC ACCESS ON SIDEWALK.
- 2. REPAIR INCLUDES (50) PERCENT REPOINTING OF ENTIRE MASONRY COLUMN AT ALL FOUR (4) SIDES.
- REFER TO DETAIL 13/402.
- 3. REPAIR INCLUDES REPLACING (25) BRICK UNITS AT MASONRY COLUMN. REFER TO DETAIL 14/402.
- 4. GRIND MORTAR JOINT AT CAST STONE BAND AND INSTALL SILICONE SEALANT. REFER TO DETAIL 1/501.
- 5. REMOVE EXISTING SEALANT, PREPARE SURFACES, AND INSTALL NEW SILICONE ISOLATION JOINT SEALANT. REFER TO DETAIL 7/501.
- 6. CLEAN MASONRY SURFACES TO REMOVE EFFLORESCENCE, POLLUTANTS, AND DIRT. REFER TO
- SPECIFICATION SECTION 090100. 7. REMOVE EXISTING SEALANT AT COUNTER FLASHING OF ENTIRE ROOF PERIMETER AT AROUND



701

- 1. DOUBLE TEE WITH POUR STRIP CONCRETE AT EDGE OF SLAB. 2. DRAIN STACK. 3. PIPE SLEEVE.

SECTION 030100.



6. EPOXY INJECT JOINT BETWEEN SLAB AND PIPE SLEEVE. REFER TO SPECIFICATION SECTION 036423. PG6 DRAIN STACK REPAIR

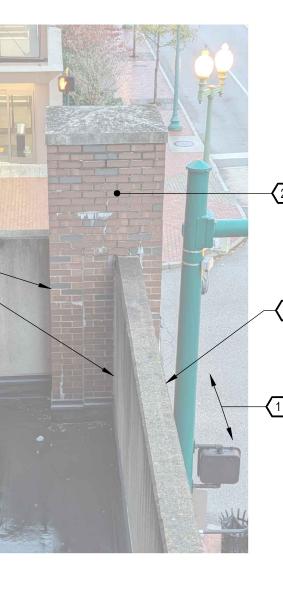
5. CAREFULLY CHIP AND REMOVE CONCRETE AT OUTSIDE OF SLAB. GRIND SMOOTH TO PROVIDE CONCRETE SURFACE PREPARATION LESS THAN NUMBER EIGHT (8). REFER TO SPECIFICATION

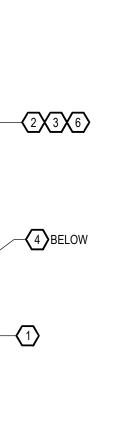
4. PROVIDE 3/4" VERTICAL SAW CUT AT BOTH EDGES OF CRACK OR DELAMINATED SLAB.

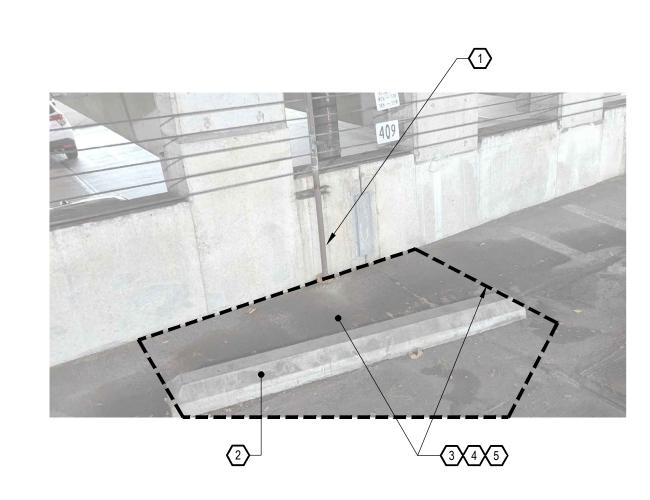


 $-\sqrt{5}$

-2

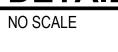






- 1. INSTALL PIPE GUARD. BASE OF DESIGN: PG3-Y BENT PLATE 1/4 PIPE GUARD, YELLOW BY D5 ENGINEERED PRODUCTS.
- 2. REMOVE AND LEGALLY DISPOSE OF PARKING STOP.
- 3. CLEAN AND REMOVE DEBRIS FROM FLOOR DRAIN.
- 4. INSTALL MEDIUM DUTY MEMBRANE SYSTEM AT DRAIN. CONFIRM LOCATION WITH ENGINEER. REFER TO NOTE ON PLAN FOR SIZE OF MEMBRANE. REFER TO DETAILS ON DRAWING 601.
- 5. AS PART OF MEMBRANE INSTALLATION, REPLACE COVE, TOOLED JOINT, SEALANT AT DRAIN, AND DOUBLE TEE JOINT SEALANT IN MEMBRANE AREA PLUS AN ADDITIONAL 6" BEYOND PERIMETER OF MEMBRANE. REFER TO DETAILS ON DRAWING 501.
 - PG6 PIPE PROTECTION AND DRAIN MEMBRANE DETAIL





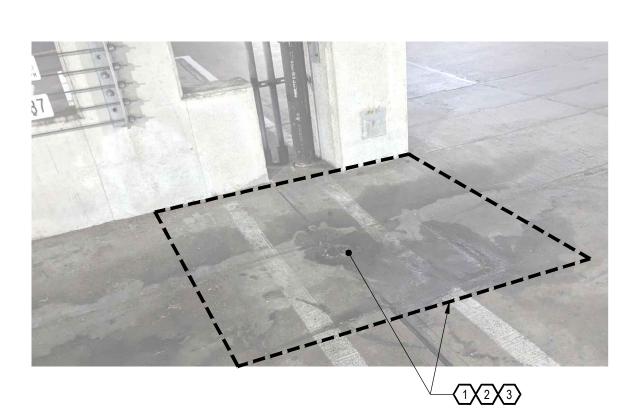


1. EXISTING DOUBLE TEE STEM.

- 2. SCAN STEM AND REPORT REINFORCING SPACING AND LAYOUT TO ENGINEER FOR ANCHORS SPACING PRIOR TO SHOP DRAWINGS. REFER TO SPECIFICATION SECTION 051200.
- 3. INSTALL NEW HSS SUPPORT BEAM BETWEEN DOUBLE TEE STEMS. REFER TO DETAIL 28/404.

STAIR STRINGER SUPPORT DETAIL NO SCALE 701

PAY UNIT PER LOCATION



- 1. CLEAN AND REMOVE DEBRIS FROM FLOOR DRAIN. NOTE THAT TWO (2) DRAINS EXIST AT ROOF LEVEL.
- 2. INSTALL MEDIUM DUTY MEMBRANE SYSTEM AT DRAIN. CONFIRM LOCATION WITH ENGINEER. REFER TO NOTE ON PLAN FOR SIZE OF MEMBRANE. REFER TO DETAILS ON DRAWING 601.
- 3. AS PART OF MEMBRANE INSTALLATION, REPLACE COVE, TOOLED JOINT, SEALANT AT DRAIN, AND DOUBLE TEE JOINT SEALANT IN MEMBRANE AREA PLUS AN ADDITIONAL 6" BEYOND PERIMETER OF MEMBRANE. REFER TO DETAILS ON DRAWING 501.



1. PERIMETER CONCRETE WALL PANEL.

DETAIL

NO SCALE

TO WORK.

DETAIL 9/701.

8

701

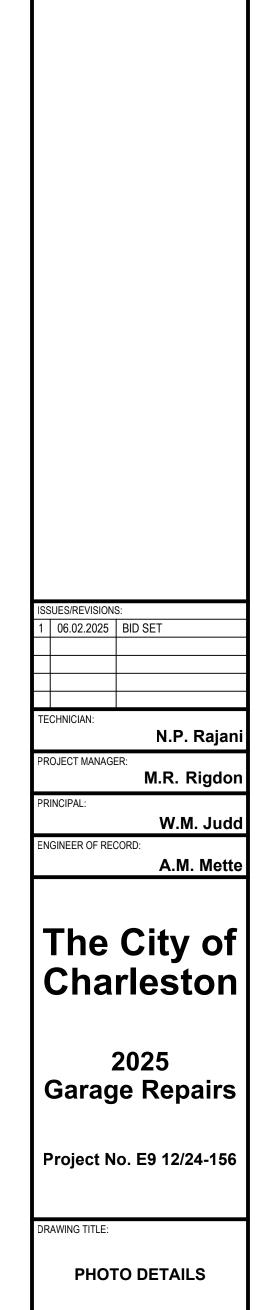


2. VERIFY LOCATION OF POSSIBLE ELECTRICAL CONDUIT IN HOLLOW METAL FACADE COLUMNS PRIOR

3. WHERE NOTED ON PLANS, INSTALL BRACKET AT TOP OF CONCRETE WALL PANEL. REFER TO PHOTO

4. WHERE NOTED ON PLANS, INSTALL BRACKET AT BASE OF CONCRETE WALL PANEL. REFER TO PHOTO DETAIL 10/701.

DECORATIVE METAL FACADE COLUMNS





221 East Fourth Street, Suite 1150 Cincinnati, Ohio 45202 513.241.3222 THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited. SFAL

701

JUNE 2025

HP NUMBER:

24137.00

RAWING NUMBER:



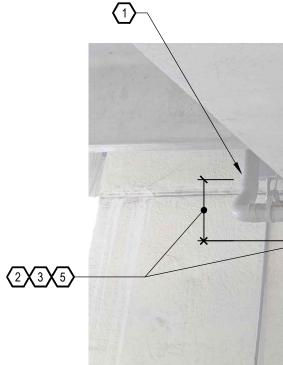
- BASIS OF DESIGN: K&M SHEET METAL. 5. ANCHOR DOWNSPOUT TO STAIR WALL AND PERIMETER WALL AT 4'-0" O.C. WITH 0.032" KYNAR ALUMUNUM DOWNSPOUT STRAPS. BASIS OF DESIGN: K&M SHEET METAL. PG4 STAIR ROOF DRAINAGE REPAIR DETAIL NO SCALE
- 3. INSTALL KYNAR BENT METAL FLASHING BELOW EXISTING SCUPPER AND EXTENDED INTO CONDUCTOR BOX 3". 4. INSTALL PLAN ROUND MATCHING KYNAR ALUMINUM DOWNSPOUT. MATERIAL TO BE 3" ROUND 0.032".
- 2. INSTALL CONDUCTOR BOX BELOW SCUPPER. BASIS OF DESIGN: COMMERCIAL CONDUCTOR HEAD ROUND, AND SEALED JOINTS.
- BY K&M SHEET METAL. MATERIAL TO BE ALUMINUM 0.032" KYNAR BONE WHITE, OUTLET SIZE TO BE 3"

13

702

- 1. STAIR TOWER ROOF SCUPPER.



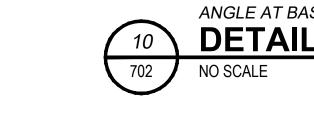


221400.

-14

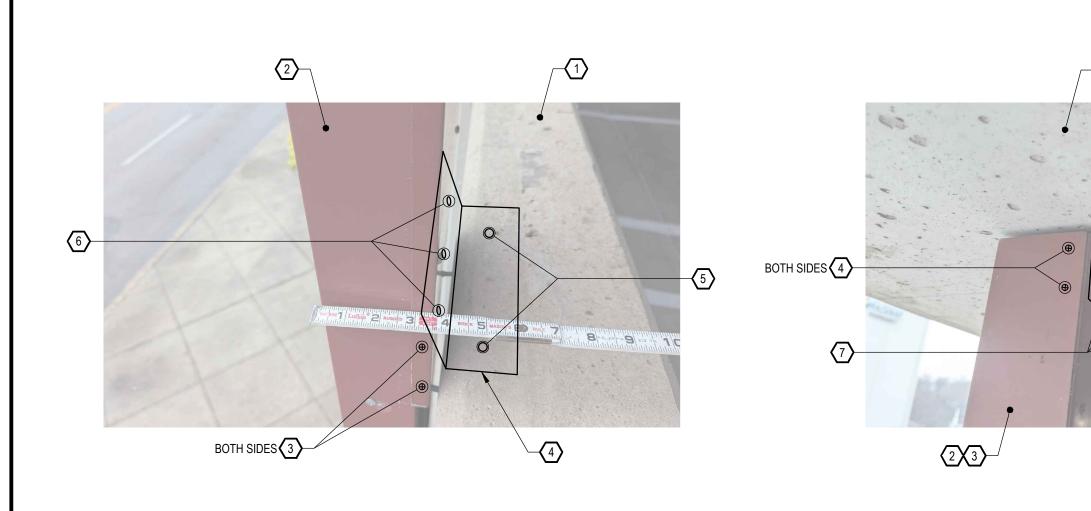
702

 $-2\sqrt{3}$



- SPECIFICATION SECTION 051200.
- STRONG TIE HL37HDG ANGLE.
- 4. INSTALL TWO (2) NO. 2 x 3/4" LONG ALUMINUM HEX HEAD DRILLING SCREWS AT OVERLAP BETWEEN ALUMINUM PIECES. SPACE ANCHORS AT 4" APART VERTICALLY.
- 3. CLAMP METAL FACADE COLUMN TIGHT TO WALL PANEL WHERE APPLICABLE.
- 2. POSITION OF METAL FACADE COLUMN VARIES AT EITHER OUTSIDE FACE OF WALL OR CENTER OF WALL.

1. PERIMETER CONCRETE WALL PANEL.



1. PERIMETER CONCRETE WALL PANEL.

STRONG TIE HL37HDG ANGLE.

SPECIFICATION SECTION 051200.

702

2. CLAMP METAL FACADE COLUMN TIGHT TO WALL PANEL.

DETAIL

NO SCALE

ALUMINUM PIECES. SPACE ANCHORS AT 4" APART VERTICALLY.

3. INSTALL TWO (2) NO. 2 x 3/4" LONG ALUMINUM HEX HEAD DRILLING SCREWS AT OVERLAP BETWEEN

5. AT TWO (2) OUTER HOLES OF ANGLE, INSTALL 1/2" GALVANIZED EXPANSION ANCHORS WITH MINIMUM

6. AT THREE (3) HOLES OF ANGLE, INSTALL NO. 4 x 1 1/2" LONG ALLOY STEEL HEX HEAD DRILL SCREWS.

ANGLE AT TOP OF CONCRETE WALL PANEL

2 1/4" EMBEDMENT. INSTALL ANCHORS AT ANGLE TOWARD CENTER OF PANEL. REFER TO

PROVIDE CORRESPONDING WASHER TO SPAN 1/2" HOLE IN SIMPSON STRONG TIE ANGLE.

4. INSTALL ANGLE TO CONNECT METAL FACADE COLUMN TO WALL. BASIS OF DESIGN: SIMPSON

PAY UNIT PER LOCATION

PG4 DRAIN PIPE REPAIR

5. UPON INSTALLATION OF PIPING, INSTALL HIGH-PERFORMANCE PAINT COATING TO MATCH EXISTING PIPE. REFER TO SPECIFICATION SECTION 099100.

4. ADD ADDITIONAL PIPE HANGER AT CONNECTION. SCAN BEAM TO LOCATE PT CABLES PRIOR TO INSTALLATION. REFER TO SPECIFICATION SECTION 221400.

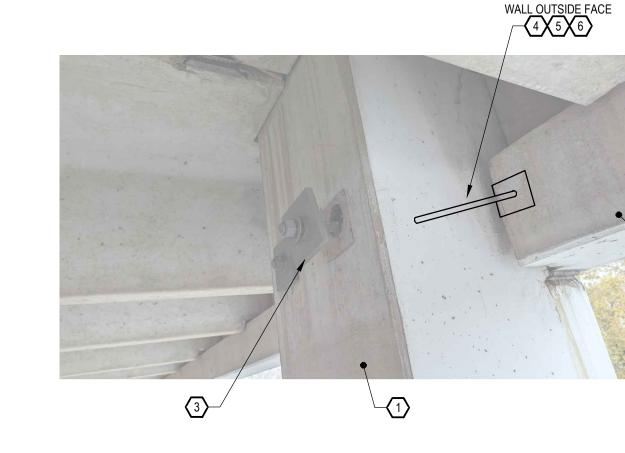
3. UTILIZE NO-HUB COUPLINGS AT CONNECTIONS OF PIPING. REFER TO SPECIFICATION SECTION

2. REPLACE NOTED LENGTH OF PIPE AND CONNECTION FITTINGS WITH NEW CAST-IRON MATERIAL. REFER TO SPECIFICATION SECTION 221400.

1. FLOOR DRAIN WITH CRACKED PIPING.



 $-4\sqrt{5}$



3. 1 1/8" DIA. ROD, BEARING PLATE, NUT, AND WASHER. REMOVE FROM INTERIOR SIDE OF COLUMN.

4. DRILL HOLE AT EXTERIOR FACE OF GARAGE THROUGH PANEL AND 1'-4" INTO COLUMN. INSTALL 1 1/8"

5. UPON CURE OF EPOXY, INSTALL BEARING PLATE, NUT, AND WASHER TIGHT TO EXTERIOR FACE OF

6. CONFIRM LOCATION OF ROD AT EXTERIOR WALL PANEL WITH ENGINEER PRIOR TO INSTALLATION.

PG3 AND PG4 CONCRETE WALL PANEL TO COLUMN CONNECTION

ROD INTO COLUMN IN EPOXY. EPOXY NOT REQUIRED AT WALL PANEL. REFER TO SPECIFICATION

-2

 $-5\sqrt{6}$

 $\overline{7}$

3. INSTALL L8x4x1/2 x 1'-0" LONG HOT DIP GALVANIZED. POSITION ANGLE WITH LONG LEG VERTICAL.

4. INSTALL TWO (2) 3/4" DIA. GALVANIZED EXPANSION ANCHORS WITH 5" MINIMUM EMBEDMENT INTO WALL AT ANGLE LONG LEG VERTICAL. PROVIDE 8" BOLT SPACING AT ANGLE 3" FROM TOP

5. PROVIDE 3/8" x 4" x 8" BEARING PAD ON TOP OF ANGLE. SECURE TO ANGEL WITH EPOXY. BASIS OF

7. INSTALL TOTAL OF (10) ANGLES WITH PAD BRACKETS ALONG LENGTH OF DOUBLE TEE MEMBERS.

PG4 ANGLES AT SLAB-ON-GRADE TRANSITION

6. INSTALL ANGLE WITH BEARING PAD TIGHT TO UNDERSIDE OF DOUBLE TEE FLANGE.

~<u>{</u>2}

 $3\sqrt{7}$

1. CONCRETE RETAINING WALL AT GRADE.

HORIZONTAL LEG.

11

702

1. CONCRETE COLUMN.

2. CONCRETE WALL PANEL.

SECTION 051200.

DETAIL

NO SCALE

WALL PANEL.

15

702

2. PRECAST CONCRETE DOUBLE TEE MEMBER.

REFER TO SPECIFICATION SECTION 051200.

DESIGN: MASTICORD BEARING PAD BY JVI.

DETAIL

CONFIRM SPACING WITH ENGINEER.

NO SCALE

4

(1)-----

-⟨6**⟩**

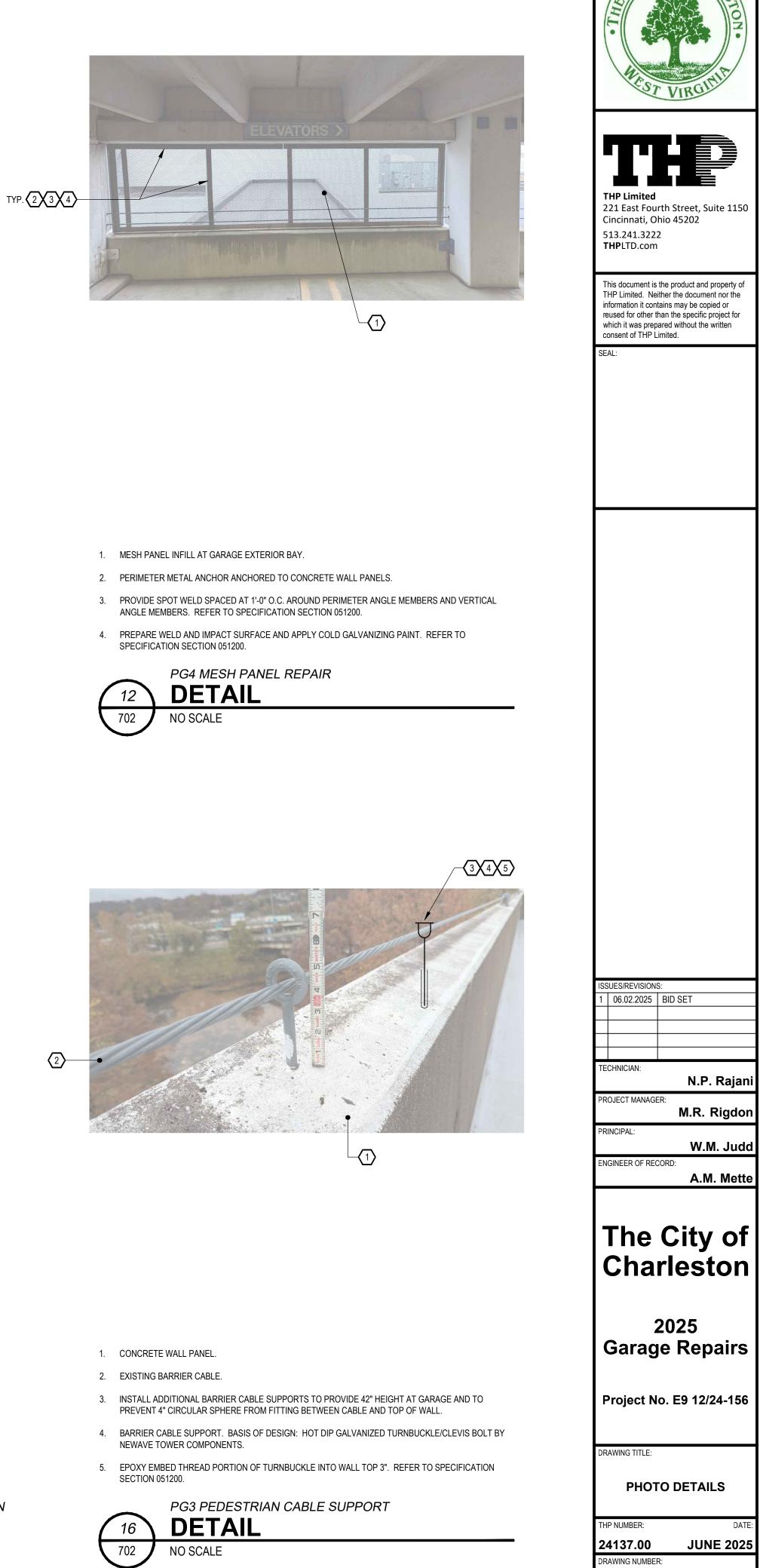
7. AT THREE (3) HOLES OF ANGLE, INSTALL NO. 4 x 1 1/2" LONG ALLOY STEEL HEX HEAD DRILL SCREWS. PROVIDE CORRESPONDING WASHER TO SPAN 1/2" HOLE IN SIMPSON STRONG TIE ANGLE. ANGLE AT BASE OF CONCRETE WALL PANEL

2 1/4" EMBEDMENT. INSTALL ANCHORS AT ANGLE TOWARD CENTER OF PANEL. REFER TO

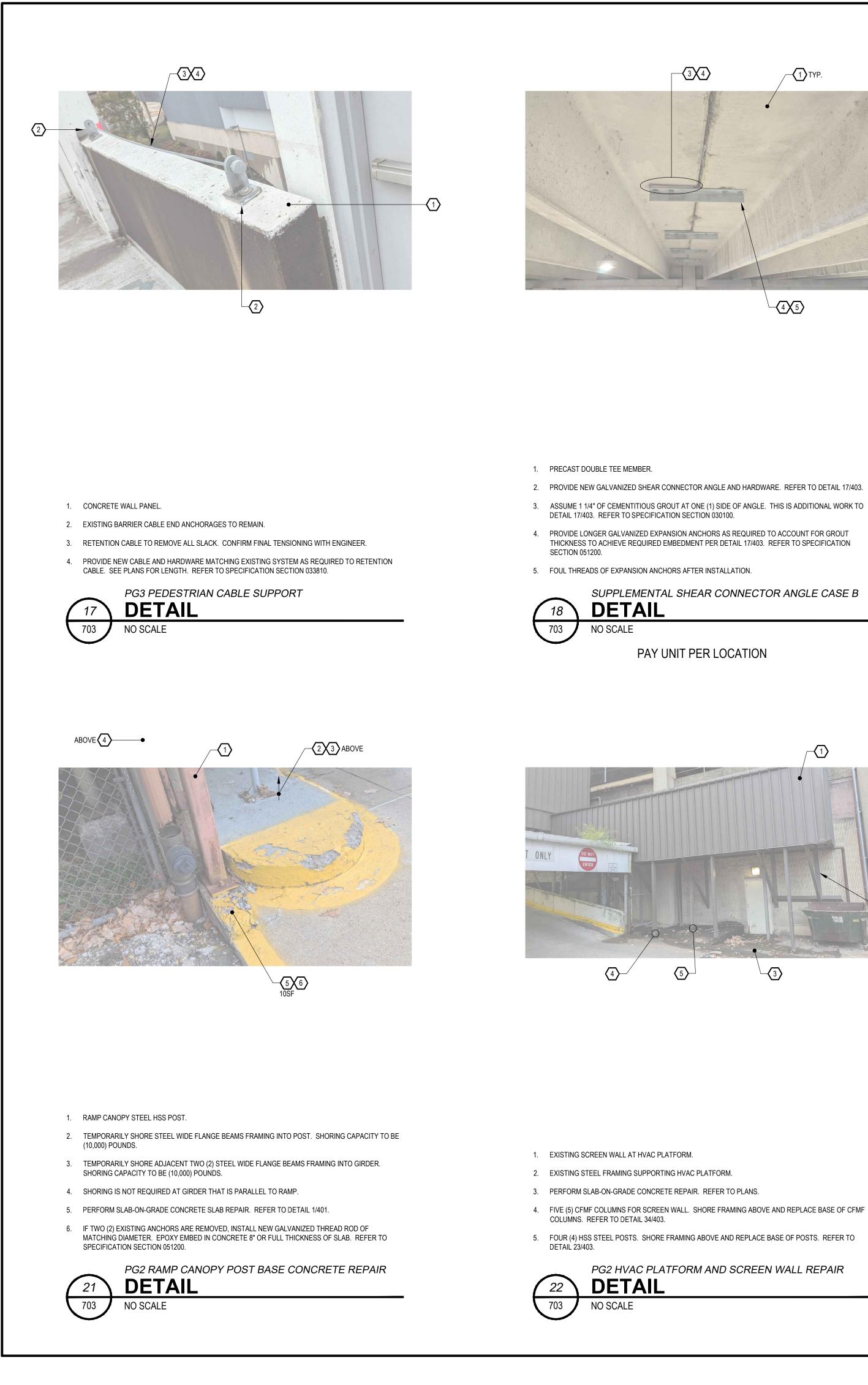
6. AT TWO (2) OUTER HOLES OF ANGLE, INSTALL 1/2" GALVANIZED EXPANSION ANCHORS WITH MINIMUM

5. INSTALL ANGLE TO CONNECT METAL FACADE COLUMN TO WALL. BASIS OF DESIGN: SIMPSON

 $-\sqrt{5}$



PAY UNIT PER LOCATION



FOUR (4) HSS STEEL POSTS. SHORE FRAMING ABOVE AND REPLACE BASE OF POSTS. REFER TO DETAIL 23/403. PG2 HVAC PLATFORM AND SCREEN WALL REPAIR

-{3>

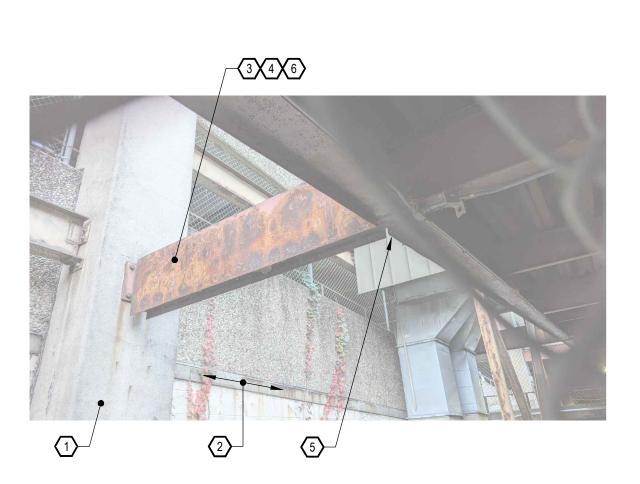
-(1)

5

PAY UNIT PER LOCATION

 $-\sqrt{3}\sqrt{4}$

 $-4\sqrt{5}$



1. CONCRETE GARAGE COLUMN.

 $-3\sqrt{4}\sqrt{5}$

2. PROVIDE NEW GALVANIZED SHEAR CONNECTOR ANGLE AND HARDWARE. REFER TO DETAIL 17/403.

3. INSTALL HSS2x2x3/16 TUBE AT ONE (1) SIDE OF ANGLE TO ACCOUNT FOR GAP. PROVIDE MATCHING

4. AS REQUIRED, PROVIDE ADDITIONAL EPOXY AND SAND GROUT ON TOP OF HSS2x2 TO ENSURE FULL

THICKNESS TO ACHIEVE REQUIRED EMBEDMENT PER DETAIL 17/403. REFER TO SPECIFICATION

PAY UNIT PER LOCATION

SUPPLEMENTAL SHEAR CONNECTOR ANGLE CASE C

 ~ 1

 $-2\sqrt{3}\sqrt{4}$

5. PROVIDE LONGER GALVANIZED EXPANSION ANCHORS AS REQUIRED TO ACCOUNT FOR GROUT

DRILLED HOLES IN TUBE AS ANGLE. REFER TO SPECIFICATION SECTION 051200.

BEARING AT DOUBLE TEE FLANGE. REFER TO SPECIFICATION SECTION 030100.

6. FOUL THREADS OF EXPANSION ANCHORS AFTER INSTALLATION.

DETAIL

NO SCALE

1. RAMP CANOPY STEEL HSS POST.

23

703

2. TEMPORARILY REMOVE COVERING.

COATING. REFER TO SPECIFICATION SECTION 099100.

(3) SIDES. REFER TO SPECIFICATION SECTION 079200.

DETAIL

NO SCALE

3. PREPARE THE BOTTOM 4'-0" OF STEEL POST AND BASE PLATE AND INSTALL HIGH-PERFORMANCE

4. REINSTALL COVERING WITH EXISTING SCREW AND INSTALL SILICONE COVE SEALANT AROUND THREE

PG2 RAMP CANOPY POST BASE PAINTING

1. PRECAST DOUBLE TEE MEMBER.

SECTION 051200.

19

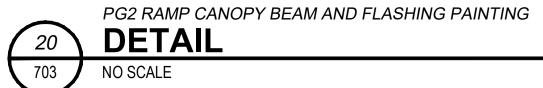
703

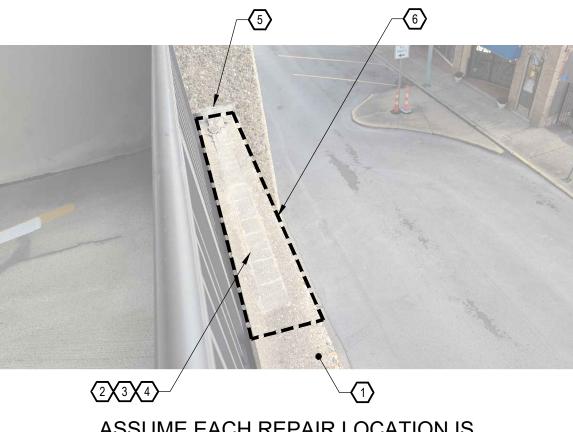
 $-2\sqrt{6}$

2. COORDINATE ACCESS IN FENCED AREA WITH PARKING GARAGE MANAGER.

COATING. REFER TO SPECIFICATION SECTION 099100.

- 3. TEMPORARILY REMOVE METAL FLASHING COVERING, PREPARE SURFACES, AND INSTALL HIGH-PERFORMANCE COATING. REFER TO SPECIFICATION SECTION 099100.
- 4. PREPARE EXPOSED PORTION OF STEEL BEAM AND CONNECTIONS AND INSTALL HIGH-PERFORMANCE COATING. REFER TO SPECIFICATION SECTION 099100.
- 5. PREPARE EXPOSED FACE OF ADJACENT GIRDER, 2'-0" LENGTH, AND INSTALL HIGH-PERFORMANCE
- 6. REINSTALL METAL FLASHING. PROVIDE FOUR (4) 1/8" FILLET WELDS x 4" LONG TO SECURE METAL FLASHING TO UNDERSIDE OF WIDE FLANGE AT STEEL BEAM.





ASSUME EACH REPAIR LOCATION IS 8'-0" LONG PER LOCATION

1. CONCRETE WALL PANEL

24

703

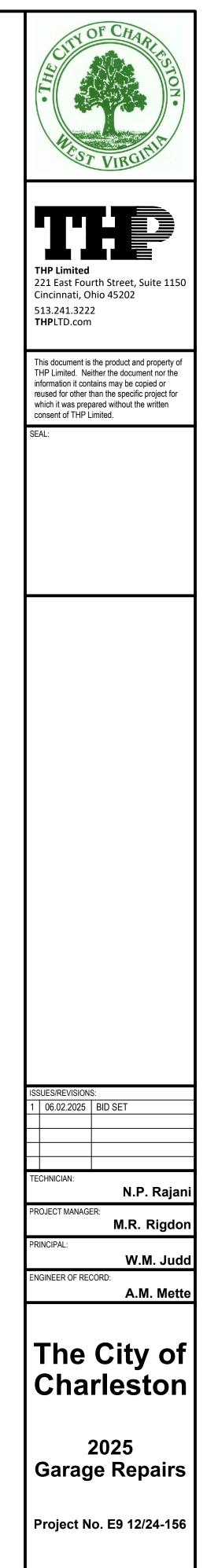
- 2. UNIT PRICE: EXISTING CEMENTITIOUS GROUT. FOR SECTIONS DEBONDED, PERFORM GROUT REPAIR PER DETAIL 12/402 AS UNIT PRICE PAID PER LINEAR FOOT IN ADDITION TO THE COST OF THIS UNIT PRICE REPAIR.
- 3. INSTALL LOW VISCOSITY EPOXY AT PERIMETER OF PATCH. INSTALL IN MULTIPLE LIFTS AS REQUIRED TO FILL COLD JOINT. REFER TO SPECIFICATION SECTION 030100.
- 4. UPON CURE OF EPOXY, GROUND SMOOTH TO REMOVE FROM SURFACE.

DETAIL

NO SCALE

- 5. INSTALL NEW SILICONE ISOLATION JOINT SEALANT AT WALL AND EXTEND DOWN OUTSIDE AND INSIDE FACE 2". REFER TO DETAIL 7/501.
- 6. INSTALL NEW CEMENTITIOUS WATERPROOFING COATING AS TWO (2) COAT APPLICATION FOR WIDTH OF WALL PANEL AND LENGTH OF GROUT PLUS 3". BASIS OF DESIGN: SIKA THOROSEAL 581.

PG1 PERIMETER WALL TOP REPAIR



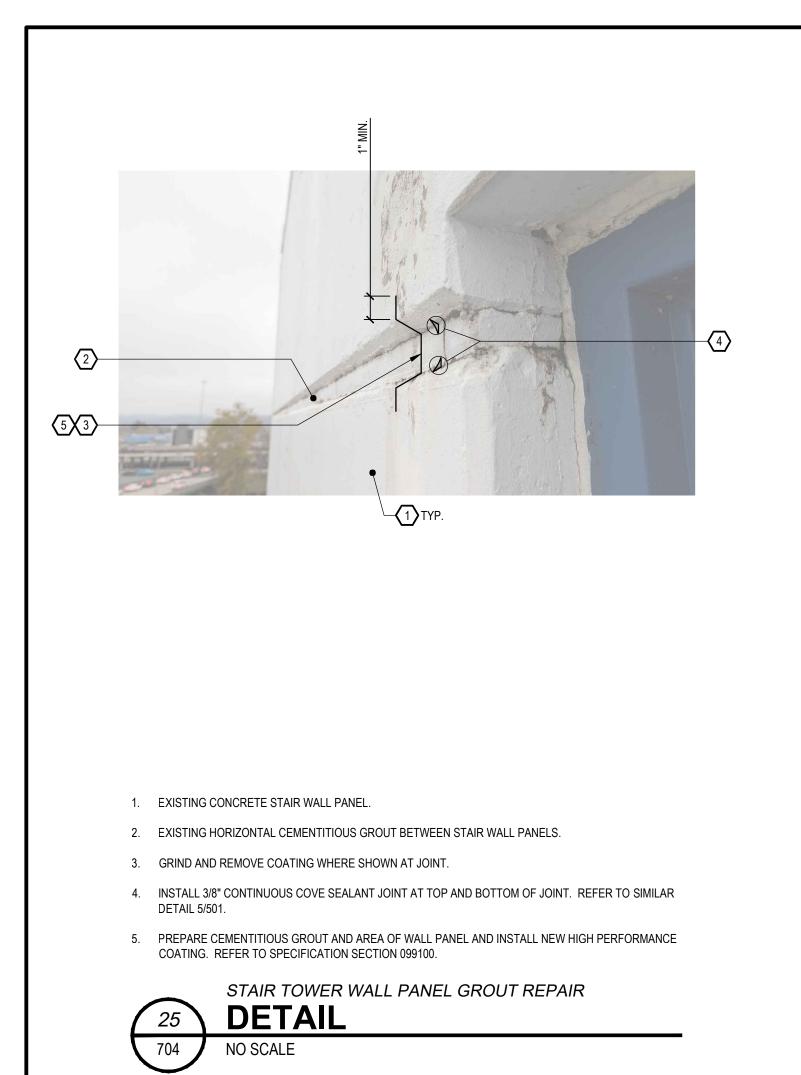
AWING TITLE:

AWING NUMBER:

PHOTO DETAILS

HP NUMBER: 24137.00 **JUNE 2025**

PAY UNIT PER LOCATION



ALTERNATE NO. 1

